



# AGENDA

## ROCKWALL CITY COUNCIL MEETING

TUESDAY, January 20, 2026 - 4:30 PM

City Hall Council Chambers - 385 S. Goliad St., Rockwall, TX 75087

**I. Call Public Meeting to Order**

**II. Executive Session**

The City of Rockwall City Council will recess into executive session to discuss the following matter as authorized by chapter 551 of the Texas government code:

1. Discussion regarding (re)appointments to city regulatory boards and commissions, pursuant to Section §551.074 (Personnel Matters)
2. Discussion regarding possible sale/purchase/lease of real property in the vicinity of the Southside District, pursuant to Section §551.072 (Real Property) and Section §551.071 (Consultation with Attorney)

**III. Adjourn Executive Session**

**IV. Reconvene Public Meeting (6:00 P.M.)**

**V. Invocation and Pledge of Allegiance - Chaplain Stanley Joseph**

**VI. Appointment Items**

1. Appointment with Planning & Zoning Commission representative to discuss and answer any questions regarding planning-related cases on the agenda.

**VII. Open Forum**

This is a time for anyone to address the Council and public on any topic not already listed on the agenda or set for a public hearing. To speak during this time, please turn in a (yellow) "Request to Address City Council" form to the City Secretary either before the meeting or as you approach the podium. Per Council policy, public comments should be limited to three (3) minutes out of respect for others' time. On topics raised during Open Forum, please know Council is not permitted to respond to your comments during the meeting since the topic has not been specifically listed on the agenda (the Texas Open Meetings Act requires that topics of discussion/deliberation be posted on an agenda not less than 3 business days in advance of the Council meeting). This, in part, is so that other citizens who may have the same concern may also be involved in the discussion.

**VIII. Take Any Action as a Result of Executive Session**

**IX. Consent Agenda**

These agenda items are routine/administrative in nature, have previously been discussed at a prior City Council meeting, and/or they do not warrant Council deliberation. If you would like to discuss one of these items, please do so during "Open Forum."

1. Consider approval of the minutes from the January 5, 2026, city council meeting, and take any action necessary.

2. Consider approval of a contract with Pipeline Analysis, LLC for the Sanitary Sewer Condition Assessment in the amount of \$197,697.15 to be paid for out of the Water and Wastewater Funds, including authorizing the City Manager to execute said contract, and take any action necessary.
3. Consider awarding a bid to Splash Pad USA for the Harry Myers Splash Ground project in an amount not to exceed \$250,000 to be funded by the Recreational Development Fund Budget, including authorizing the City Manager to execute purchase orders and/or contracts for this project, and take any action necessary.
4. Consider authorizing the City Manager to execute a contract renewal with SLM Landscaping for a period of one-year in the amount of \$728,470 to be funded by the Parks Operations Budget, and take any action necessary.
5. Consider approval of an Interlocal Agreement and associated amendment with Rockwall County regarding jail services, including authorizing the City Manager to execute said agreement, and take any action necessary.
6. Consider approval of a resolution approving an advance funding agreement ("AFA") with the TX Dept. of Transportation (TXDOT), including authorizing the City Manager to execute said agreement, for the TXDOT Green Ribbon Program Project pertaining to landscaping median improvements on SH-740 from in the vicinity of IH-30 to SH-205, and take any action necessary.
7. Consider approval of a resolution renaming a portion of E. Quail Run Road as recommended by the City Council's Naming Subcommittee, and take any action necessary.
8. **P2025-040** - Consider a request by Shawn Valk of Valk Properties VII, LLC for the approval of a Final Plat for Lot 1, Block A, Valk Addition being a 14.7772-acre tract of land identified as Tracts 8 & 8-1 of the J. H. Bailey Survey, Abstract No. 34, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 4649 SH-276, and take any action necessary.
9. **P2025-041** - Consider a request by Duane and Jennifer Piercy for the approval of a Replat for Lots 2-4, Block A, Piercy Place Addition being a 1.67-acre tract of land identified as Lot 1, Block A, Piercy Place Addition and Tract 60 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 709-713 Hartman Street, and take any action necessary.
10. **P2025-042** - Consider a request by Stephanie Tutt of Kimley Horn on behalf of James Valk for the approval of a Preliminary Plat for Lots 1 & 2, Block A, Casey's Blackland Addition, being a 10.5908-acre tract of land identified as Tract 9-2 of the J. R. Marrs Survey, Abstract No. 152, Rockwall County, Texas, generally located southeast corner of the intersection of SH-276 and FM-548, and take any action necessary.
11. **P2025-043** - Consider a request by Frank Polma, PE of R-Delta Engineers, Inc. on behalf of Stephen Geiger of Rayburn County Electric Cooperative for the approval of a Final Plat for Lot 1, Block A, REC Pickleball Addition, being a 1.571-acre parcel of land identified as Lot 1, Block A, Estep Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2686 S. Goliad Street [SH-205], and take any action necessary.

## X. Public Hearing Items

If you would like to speak regarding an item listed below, please turn in a (yellow) "Request to Address City Council" form to the City Secretary either before the meeting or as you approach the podium. The Mayor or Mayor Pro Tem will call upon you to come forth at the proper time. Please limit your comments to no more than three minutes.

1. **Z2025-074** - Hold a public hearing to discuss and consider a request by Brierre Cathey on behalf of Mike Rodgers for the approval of an **ordinance** for a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* on a 0.3480-acre tract of land identified as Lots 10 & 11 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1011 S. Goliad Street [SH-205], and take any action necessary **[1st Reading]**.
2. **Z2025-076** - Hold a public hearing to discuss and consider a request by Davin Marceau of The Charles Morgan Group, LP on behalf of Chase Cooley of 1540 E. IH-30 Rockwall, LLC for the approval of an **ordinance** for a Specific Use Permit (SUP) to *Exceed the Maximum Permissible Height in a Light Industrial (LI) District* for the construction of a *Flag Pole* on a 4.39-acre parcel of land identified as Lot 3, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary **[1st Reading]**.
3. **Z2025-077** - Hold a public hearing to discuss and consider a request by Gage Raba of Hunington Properties, LTD on behalf of Tina Cox of Temunovic Partnership LTD for the approval of an **ordinance** for a Zoning Change from a Light Industrial (LI) and a Commercial (C) District to a Planned Development District for Commercial (C) District land uses for a 32.79-acre tract of land identified as Tracts 3, 3-01, 3-2, 3-3, and 3-4 of the J. Lockhart Survey, Abstract No. 134; Lot 1 of the Eastplex Industrial Park Addition; and, Lot 2, Block A, Eastplex Industrial Park No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District and Light Industrial (LI) District, situated within the SH-205 Bypass Overlay (SH-205 BY OV) District and the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of the intersection of the IH-30 Frontage Road and S. John King Boulevard, and take any action necessary **[1st Reading]**.
4. **Z2025-078** - Hold a public hearing to discuss and consider a request by Johnathan Brown, AIA of JHP Architecture/Urban Design on behalf of Darlene Singleton of the Rockwall Community Playhouse for the approval of an **ordinance** for a Zoning Change from Single-Family 7 (SF-7) District to a Planned Development District for Single-Family 7 (SF-7) District land uses for a 1.0061-acre tract of land identified as a portion of Lot 120D and all of Lots 120C & 120G of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 609 E. Rusk Street and 606, 610, & 612 Kaufman Street, and take any action necessary **[1st Reading]**.
5. **Z2025-079** - Hold a public hearing to discuss and consider a request by James Martin of Gardner Land Holdings LLC on behalf of Bart Gardner of Gardner Land Holdings, LLC for the approval of an **ordinance** for a Zoning Change from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail (GR) District and Commercial (C) District land uses on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the northwest corner of S. Goliad Street [SH-205] and Lofland Circle, and take any action necessary **[1st Reading]**.

**XI. Adjournment**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 771-7700 or FAX (972) 771-7727 for further information.

The City of Rockwall City Council reserves the right to adjourn into executive session at any time to discuss any of the matters listed on the agenda above, as authorized by Texas Government Code ¶ 551.071 (Consultation with Attorney) ¶ 551.072 (Deliberations about Real Property) ¶ 551.074 (Personnel Matters) and ¶ 551.087 (Economic Development)

I, Kristy Teague, City Secretary for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 13th day of January, 2026, at 5 PM and remained so posted for at least three business days before the scheduled time of said meeting.

\_\_\_\_\_  
Kristy Teague, City Secretary  
or Margaret Delaney, Asst. to the City Sect.

\_\_\_\_\_  
Date Removed



# MINUTES

## ROCKWALL CITY COUNCIL MEETING

Monday, January 5, 2026 - 5:00 PM

City Hall Council Chambers - 385 S. Goliad St., Rockwall, TX 75087

### I. Call Public Meeting to Order

Mayor McCallum called the meeting to order at 5:00 p.m. Present were Mayor Tim McCallum, Mayor Pro Tem Mark Moeller, and Councilmembers Melba Jeffus, Anna Campbell, Dennis Lewis and Richard Henson. Also present were City Manager Mary Smith, Assistant City Manager Joey Boyd, and City Attorney Frank Garza. Councilmember Sedric Thomas was absent from the meeting. Mayor McCallum read the below-listed discussion items into the public record before recessing the meeting to go into Executive Session at 5:00 p.m.

### II. Executive Session

The City of Rockwall City Council will recess into executive session to discuss the following matter as authorized by chapter 551 of the Texas government code:

1. Discussion regarding (re)appointments to city regulatory boards and commissions, pursuant to Section §551.074 (Personnel Matters)

### III. Adjourn Executive Session

Council adjourned from Executive Session at 5:18 p.m.

### IV. Reconvene Public Meeting (6:00 P.M.)

The mayor reconvened the public meeting at 6:00 p.m.

### V. Invocation and Pledge of Allegiance - Steven Bocek, Chaplain (Crossroads Church)

Mr. Bocek came forth and delivered the invocation and led the Pledge of Allegiance.

### VI. Appointment Items

1. Hold an appointment with Ron Hawkins of Land Art of Rockwall (*i.e. Honey Locus Farms*) to discuss and consider directing staff to initiate a text amendment to Article 04, *Permissible Uses*, of the Unified Development Code (UDC) to allow the *Banquet Facility/Event Hall* land use by Specific Use Permit (SUP) in a Light Industrial (LI) District, and take any action necessary.

Planning Director, Ryan Miller, provided background information concerning this agenda item. In response to a proactive case (*i.e. Case Number CE2025-6295*) by the Neighborhood Improvement Services (NIS) Division, the property owner -- *Ron Hawkins of Land Art of Rockwall (i.e. Honey Locus Farms)* -- met with staff on December 11, 2025. The purpose of this meeting was to discuss the *Banquet Facility/Event Hall and Restaurant (i.e. a Coffee Shop)* that had been established on the subject property in conjunction with the

existing *Garden Supply/Plant Nursery* without obtaining a Certificate of Occupancy (CO). As discussed in this meeting, the subject property was zoned Agricultural (AG) District, and none of the proposed land uses were permitted within the Agricultural (AG) District, with the exception of the *Garden Supply/Plant Nursery* that was in place at the time of annexation and is considered to be a legally non-conforming land use. Staff also pointed out that the property was designated for *Technology/Employment Center* on the Future Land Use Map contained within the Comprehensive Plan, and that the most appropriate zoning for this property would be Light Industrial (LI) District under this designation. Staff also pointed out that based on current zoning cases and development in this area, this zoning/future land use designation was appropriate for the subject property. The issue with the Light Industrial (LI) District is that it does not allow the *Banquet Facility/Event Hall* land use. It was further discussed that to zone the subject property to a Commercial (C) District -- *which would support all the requested land uses* -- would be inconsistent with the plan and amount to *Spot Zoning*<sup>1</sup>. After further discussing the issue with the property owner, staff determined that perhaps the best course of action was for staff to initiate an appointment with the City Council to propose a text amendment to the Unified Development Code (UDC) to allow the *Banquet Facility/Event Hall* land use by Specific Use Permit (SUP) in the Light Industrial (LI) District. The subject property is a 9.9398-acre tract of land (*i.e. Tract 3 of the J. H. Bailey Survey, Abstract No. 34*) that is zoned Agricultural (AG) District and is situated within the SH-276 Overlay (SH-276 OV) District. It was annexed on December 22, 2008 by *Ordinance No. 08-65 [Case No. A2008-003]*. At the time of annexation, the subject property was zoned Agricultural (AG) District and was occupied with a legally non-conforming *Garden Supply/Plant Nursery* (see *Figure 1*). On April 21, 2009, the property owner -- *Ron Hawkins* -- applied for a Certificate of Occupancy (CO) for a *Nursery/Office* that included the outside storage of "...plants, soils, irrigations parts, fertilizer (seasonal), [and] mulch." On this application, the applicant indicated that the *Garden Supply/Plant Nursery* has been open since 1999. A copy of this Certificate of Occupancy (CO) application has been included in the attached packet. According to the City's *Permitting, Land, and Licensing Software*, other than a sign permit (*i.e. SGN2014-0088*) that expired prior to final inspection in 2014, no additional building permits have been issued for the subject property. Currently, the Unified Development Code (UDC) allows both the *Garden Center/Plant Nursery* and *Restaurant with Less Than 2,000 SF without Drive-Through or Drive-In* land uses *by-right* in a Light Industrial (LI) District; however, the *Banquet Facility/Event Hall* land use is not a permitted land use in the Light Industrial (LI) District. The purpose for this is due to how these types of facilities operate and their parking requirements (*i.e. one [1] parking space per 100 SF of building area*), which are typically seen as being incompatible within areas that are zoned Light Industrial (LI) District. Recently, staff has observed a trend in older industrial areas where due to lack of tenant options, these areas have started to convert existing lease spaces to allow land uses that are more commercial in nature. Based on this trend, staff is of the opinion that changing the land use charts to allow the *Banquet Facility/Event Hall* land use by Specific Use Permit (SUP) in a Light Industrial (LI) District shouldn't create an issue or inconsistencies with land uses. As a reminder, the Specific Use Permit (SUP) gives the City Council -- upon recommendation from the Planning and Zoning Commission -- the ability to approve a land use on a case-by-case basis, and considers any externalities that may exist in a particular area. A change would need to be made to the Unified Development Code (UDC).

Mr. Hawkins, the owner of the business in question, came forth and provided comments to the Council concerning this agenda item. He generally explained that even as far back as 20 years ago, landscaping related classes have been held at the location. Over time, gatherings at the location have evolved to include things such as birthday parties or meetings. He explained there are no kitchen related facilities on site or anything like that; however, additional events -- beyond just landscape classes -- have been being held. He expressed that staff initially indicated he would need to pour a concrete parking lot and build a detention

pond. However, thereafter staff indicated that he actually is not permitted to be doing the sorts of activities there that he has been doing (i.e. bridal showers or parties that host 100 – 125 people).

Following Mr. Hawkins' comments various councilmembers commented and sought and received clarification from both Mr. Miller, Planning Director, and Mr. Hawkins.

City Attorney Frank Garza shared that staff does need direction from Council regarding how they would like to proceed. Several council members generally indicated an 'ok' with moving forward with staff pursuing this as a zoning-related case (a change to the UDC) and the topic coming back forth before the Council for formal consideration at a later date.

Following some additional, brief comments, including some concerns expressed by Mayor McCallum, no formal action was taken as a result of this appointment discussion item.

## VII. Open Forum

Mayor McCallum addressed this agenda item prior to "Appointment Items," right after the invocation and pledges. He explained how Open Forum is conducted, asking if anyone would like to come forth and speak at this time.

Kevin Folsom  
115 Bayshore Drive  
Rockwall, TX 75087

Mr. Folsom came forth and expressed concerns about the lake shore along the SH-66 boat ramp. He wonders if he needs to keep a watchful eye on the city council meeting agendas, or if he would be informed by some other means if the topic will be placed on a future agenda. Indication was given that he should, on his own, keep a watchful eye on posted agendas in the future. He went on to site information from the city's Code of Ordinances regarding the regulation of high weeds, grass, brush and other code compliance related concerns. While he knows these regulations are intended for citizens and their properties, but he hopes these regulations also apply to city-owned properties. He expressed concern about trash along the lake shore and the need for it to be cleaned up.

Anthony Morris  
303 Glenn Avenue  
Rockwall, TX

Mr. Morris came forth and expressed concerns regarding the recent changes in trash collection services and associated costs, sharing his perspective that it is a 90% cost increase for half the service. He indicated he was never informed of these changes and never received any notifications, not in his utility bill or otherwise. He wants to know how this happened and wants assurances that something like this will not happen again in the future.

Lisa Boehm  
1400 Plummer Drive  
Rockwall, TX 75087

Ms. Boehm shared that she has concerns about the recent trash changes that have taken place. She views that the changes were only communicated in the month of December, and she has strong opposition. She generally reminded Council members that they represent everyone – every citizen – not just themselves.

Mayor McCallum shared that he and others have fought against the trash contract, and he personally voted against it. He assured that this city council has listened, but – unfortunately – this is how the political process works. He pointed out that the trash contract passed last April. So, we are doing our best now to deal with the issues that we all face, himself included. The council hears citizens loud and clear, and all council members have heard the concerns. He appreciates the perspectives, and he knows that some are not happy about having to use the provided trash cans and now have only once per week pickups.

#### VIII. Take Any Action as a Result of Executive Session

Mayor Pro Tem Moeller moved to reappoint to the Main Street Advisory Board Hailee Handy-Alberti for an additional term to run thru August of 2027; to reappoint Jeremy Standifer for an additional term to run through August of 2028; and to newly appoint Mary Walker for an initial term to run through August of 2028. Mayor McCallum seconded the motion, which passed by a vote of 6 ayes with 1 absence (Thomas).

#### IX. Consent Agenda

1. Consider approval of the minutes from the December 15, 2025, city council meeting, and take any action necessary.
2. Consider an **ordinance** amending the Code of Ordinances in Chapter 10 Buildings and Building Regulations and Chapter 44 Utilities, regarding procedures for backflow assembly testing and fire hydrant/backflow use, and take any action necessary. **(2nd Reading)**

Councilmember Lewis moved to approve the Consent Agenda (items #1 and 2). Councilmember Campbell seconded the motion. The ordinance caption was read as follows:

#### CITY OF ROCKWALL

#### ORDINANCE NO. 26-01

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL TEXAS, AMENDING THE MUNICIPAL CODE OF ORDINANCES OF THE CITY OF ROCKWALL IN SECTION 10-696 OF ARTICLE XVI, *IRRIGATION CODE*, OF CHAPTER 10, *BUILDINGS AND BUILDING REGULATIONS*, AND SECTION 44-78 & 44-79 OF ARTICLE III, *RATES AND CHARGES*, AND SECTION 44-311 & 44-332 OF ARTICLE V, *WATER*, OF CHAPTER 44, *UTILITIES*; PROVIDING A PENALTY OF A FINE NOT TO EXCEED THE SUM OF \$2,000.00 FOR EACH OFFENSE; DECLARING THAT THE MEETING AT WHICH THIS ORDINANCE WAS ADOPTED WAS OPEN TO THE PUBLIC; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 6 ayes with 1 absence (Thomas).

#### X. Action Items

1. Discuss and consider the selection of MESA for the "North Goliad Street Reimagining Project," following a "requests for qualifications" process, including authorizing the City Manager to negotiate the terms of a contract to be presented to Council for consideration at a later date, and take any action necessary.

Director of Administrative Services, David Sweet, provided background information concerning this agenda item. The County Road Bond projects included advance funding of aspects of the widening of North Goliad

from Downtown to John King Boulevard. The County approved \$2 million to begin this planning effort through an Interlocal Cooperation Agreement. When Council approved the Agreement between the City and County, staff was authorized to proceed with the Request for Qualification process for the North Goliad Reimagining Project. Five firms submitted responses and after evaluation of all submissions, staff selected two firms to interview. Staff recommends the City Council authorize the City Manager to negotiate the terms of a contract with MESA to be presented to the council at a later date. MESA will serve as the Consultant partnering with Teague Nall & Perkins Inc. (TNP) for engineering support and Integrated Environmental Services for environmental assistance, both serving as subconsultants. MESA has over 40 years of experience as a Landscape Architecture, Planning and Urban Design Firm based in Dallas. He then indicated that representatives from MESA are present this evening to address the Council.

The following MESA representatives came forward and addressed Council:

Joe Steffes  
2914 Faulkner Drive  
Rowlett, TX

Chris Hartke  
1504 Forrest Bend Lane  
Keller, TX

The two gentlemen thanked Council for this opportunity. They then gave Council a presentation to introduce themselves, their company, and their other, various staff members who will be assisting with this “reimagining” project. They are looking to partner with both TXDOT and the NCTCOG (N. Central TX Council of Govts.). They explained the company will assist the city, in part, with preliminary environmental studies and developing preliminary design alternatives for this project. They explained the project will transpire in three stages – (1) assessment / analysis; (2) stakeholder / community engagement and, finally, (3) a master concept plan. They also shared brief details of other, recent projects their company has worked on in other cities within the Dallas/Ft. Worth area. They then shared a ‘critical path’ timeline, indicating it is a very aggressive schedule, with the hope that it will culminate in the month of July.

Following MESA’s presentation, several council members provided positive, brief commentary.

Mayor McCallum then moved to authorize the City Manager to negotiate contractual terms with MESA to be brought back to Council for consideration at a later date. Councilmember Henson seconded the motion, which passed by a vote of 6 ayes with 1 absence (Thomas).

**XI. City Manager's Report, Departmental Reports and Related Discussions Pertaining To Current City Activities, Upcoming Meetings, Future Legislative Activities, and Other Related Matters.**

1. Building Inspections Department Monthly Report
2. Fire Department Monthly Report
3. Parks & Recreation Department Monthly Report
4. Police Department Monthly Report
5. Roadway Projects Update

6. Sales Tax Historical Comparison
7. Water Consumption Historical Statistics

**City Engineer, Amy Williams provided a brief update on recent roadway-related projects.**

**XII. Adjournment**

**Mayor McCallum adjourned the meeting at 6:49 p.m.**

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL,  
TEXAS THIS 20<sup>th</sup> DAY OF JANUARY, 2026.**

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**Tim McCallum, Mayor**

**ATTEST:**

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**Kristy Teague, City Secretary**



City of Rockwall  
*The New Horizon*

## MEMORANDUM

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**TO: Mary Smith, City Manager**

**FROM: Amy Williams, Director of Public Works/City Engineer**

**DATE: January 20, 2026**

**SUBJECT: Proposed 2026 Sanitary Sewer Condition Assessment**

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The strategic plan associated with the City's Capacity, Management, Operations, and Maintenance (CMOM) Plan presented to the EPA requires the City to complete a condition assessment of the sewer system within ten years. To develop this strategic initiative, staff and the firm that worked on the CMOM took the information from the flow monitoring study conducted in the spring of 2015. The study was divided into 37 basins that were ranked depending on how much inflow and infiltration was detected in rain events.

The strategic initiative consists of a condition assessment of evaluating the basins that scored the lowest score in the study first. In 2026, the wastewater division proposes to complete a condition assessment of six basins with a total of 126,165 feet of pipe with 480 manholes. The Professional Services Contract for the sanitary sewer condition assessment cost \$197,697.15. The funds are available in the water and sewer operating budget, sewer line repair and replacement. Assessments of these basins will include:

- Manhole inspections
- Smoke testing
- Dye flooding
- Cleaning (City)
- CCTV (City)
- Analysis of any defects
- Mapping
- Cost estimates for repair or rehab
- Data collecting
- Final report

Staff requests the City Council consider authorizing the City Manager to execute a contract with Pipeline Analysis LLC for the Sanitary Sewer Assessment in the amount of \$197,697.15 to be paid from the Water and Sewer Fund.

**Professional Services Contract**  
**City of Rockwall**  
**Year 9**  
**Sanitary Sewer Condition Assessment**  
**Flow Meter Basins**  
**BC12B, BC24, BC06B, BC14, Dalton and**  
**Castleridge**



City of Rockwall  
*The New Horizon*

**January 6, 2026**



**PIPELINE ANALYSIS LLC**  
1115 Main Street  
Garland, Texas 75040  
800-637-0164  
TBPE Firm No. F-6538

## **CONTRACT FOR PROFESSIONAL ENGINEERING SERVICES**

THIS CONTRACT made and entered into on the date last stated below between the City of Rockwall, hereinafter called "City", and Pipeline Analysis, LLC hereinafter called "ENGINEER", acting by and through Mattie A. Engels, P.E. (Project Manager) duly authorized to so act on behalf of the ENGINEER.

WHEREAS, the CITY desires professional engineering services in connection with the Sanitary Sewer Condition Assessment of sewer on a specified portion of the City of Rockwall, Texas, hereinafter called "the PROJECT"; and

WHEREAS, the CITY has determined that the ENGINEER has experience in the area involved in the Project and is qualified to perform the work, and the ENGINEER is willing to enter into a contract with CITY to perform the engineering services desired by CITY in connection with the PROJECT.

THE CITY AND ENGINEER AGREE AS FOLLOWS:

The CITY hereby retains the ENGINEER to perform engineering services in connection with the PROJECT described above.

### **1. SCOPE OF SERVICES**

The scope of Professional Engineering Services to be performed by the ENGINEER shall be as follows:

#### **1.1 Approach to Project**

This project will perform various field testing and inspection of the wastewater collection system within the Study Area as defined on the map included in Exhibit A and prepare a final report that recommend system repairs and estimated costs.

#### **1.2 Detailed Scope of Services**

See Exhibit A attached.

### **2. CITY'S RESPONSIBILITIES**

So as not to delay the services of ENGINEER, the CITY shall do the following in a timely manner:

#### **2.1 Provide Existing Data**

CITY will provide to ENGINEER at no cost those sewer maps and any applicable previous reports. Existing data delivered to the ENGINEER by the CITY remains

the property of the CITY and must be returned to the CITY after completion of the PROJECT.

## **2.2 Provide Access**

Arrange for access to, and make all provisions for, ENGINEER to perform services under this AGREEMENT.

## **2.3 CITY Representative**

CITY designates the following person as the project representative to act as the contact person on behalf of the CITY.

Shon Bellah  
Water/ Wastewater Manager  
City of Rockwall  
1600 Airport Road  
Rockwall, TX 75087  
972.771.7730

## **2.4 Cleaning and CCTV Inspection**

CITY desires to perform the cleaning and CCTV inspection of sanitary sewers identified by Pipeline Analysis LLC. Pipeline Analysis LLC shall prepare a listing of line segments requiring internal cleaning and CCTV inspection based on field testing and inspection within the study areas. City will perform the cleaning and CCTV of the designated gravity sewers and provide Pipeline Analysis LLC the resulting database and digital video of the inspections. Pipeline Analysis LLC will incorporate these findings into the final report.

# **3. SCHEDULE**

## **3.1 Schedule**

The ENGINEER'S services shall be performed in a timely manner consistent with sound professional practices. The ENGINEER will complete the work according to the schedule presented in Exhibit A.

The time limits set forth in the schedule shall include allowances for reasonable and expected review time by the CITY and approval by authorities having jurisdiction over the PROJECT, and shall not be allowed as cause for delay or adjustments to the schedule. Delays in the project critical path caused by review times by the CITY or a permitting agency exceeding those anticipated by the ENGINEER'S schedule are cause for adjustments in the schedule. Any

adjustments made to the agreed upon schedule shall be made in writing and acceptable to both parties.

The ENGINEER shall begin work immediately upon receipt of the executed CONTRACT and/or written Notice to Proceed.

### **3.2 Completion of Services**

ENGINEER'S services under each item of the finalized Scope of Work shall be considered complete on the date when the submissions for that item have been accepted by CITY.

### **3.3 Changes**

If the CITY requests significant modifications or changes in the Scope of Services, general scope, extent or character of the PROJECT, the time of performance of ENGINEER'S services, the various rates of compensation and schedule shall be adjusted equitably.

### **3.4 Written Authorization for Additional Work**

Any provision in this CONTRACT notwithstanding, it is specifically understood and agreed that the ENGINEER shall not authorize or undertake any work pursuant to this CONTRACT which would require the payment of any fee, expense or reimbursement in addition to the fees stipulated in Section 4 (Payment for Services) of this CONTRACT, without first having obtained the specific written authority to do so from CITY.

## **4. PAYMENT FOR SERVICES**

### **4.1 Terms**

Terms used in describing the applicable method of payment for services provided by the ENGINEER shall have the meaning indicated below:

#### ***Basic Engineering Fee:***

Basic Engineering Fee shall mean those expenses incurred by the ENGINEER in prosecuting the PROJECT Scope of Services.

### ***Reimbursable Expenses***

Not applicable

### ***Additional Services***

Additional services **not** covered under the Scope of Services, will be provided to the CITY on a unit price or lump sum basis. A revised written detailed scope of services for additional services will be provided with the pricing summary. Additional services must be approved by City along with a written notice to proceed.

#### ***4.2 Basis and Amount of Compensation for Basic Services***

Compensation for basic services will be as shown in Exhibit A. These services will be billed monthly based on a percentage completed and will not exceed the total presented.

#### ***4.3 Basis and Amount of Compensation for Additional Services***

Not applicable. No additional services are anticipated.

#### ***4.4 Partial Payments for Services***

Partial fee payments may be applied for at monthly intervals, based upon statements which reflect the percentage of work completed for the various items listed under Scope of Services. These statements shall be prepared by the ENGINEER and must be verified and approved by CITY.

#### ***4.5 Delay***

If ENGINEER'S design services or service during construction of the PROJECT are delayed or suspended in whole or in part by the CITY for more than one year for reasons beyond ENGINEER'S control the various rates of compensation, including Additional Services, provided for elsewhere in this CONTRACT shall be subject to equitable adjustment.

## **5. TERMINATION, SUSPENSIONS OR ABANDONMENT**

### ***5.1 Termination***

The CITY or the ENGINEER may terminate this CONTRACT for reasons identified elsewhere in this CONTRACT. In the event such termination becomes necessary, the party effecting termination shall so notify the other party, and termination will

become effective thirty (30) calendar days after receipt of the termination notice. Irrespective of which party shall effect termination or the cause therefore, CITY shall within thirty (30) calendar days of termination remunerate ENGINEER for services rendered and costs incurred, in accordance with the ENGINEER'S prevailing fee schedule (Exhibit A). Services shall include those rendered up to the time of termination. All plans, field survey, and other data related to the PROJECT shall become the property of CITY upon termination of the CONTRACT and shall be promptly delivered to CITY in a reasonably organized form. Should CITY subsequently contract with a new Engineer for continuation of services on the PROJECT, ENGINEER shall cooperate in providing information. No amount shall be due for lost or anticipated profits.

### **5.2 Suspension**

If the Project is suspended by CITY for more than 30 consecutive days, the ENGINEER shall be compensated for services performed prior to notice of such suspension. When the Project is resumed, the ENGINEER'S compensation shall be equitably adjusted to provide for expenses incurred in the interruption and resumption of the ENGINEER'S services.

### **5.3 Abandonment**

This CONTRACT may be terminated by CITY upon not less than seven (7) days written notice to the ENGINEER in the event that the Project is permanently abandoned. If the Project is abandoned by CITY for more than ninety (90) consecutive days, the ENGINEER or CITY may terminate this CONTRACT by giving written notice.

### **5.4 Failure to Pay**

Failure of CITY to make payments to the ENGINEER in accordance with this CONTRACT shall be considered substantial nonperformance and cause for termination.

If CITY fails to make payment to ENGINEER within thirty (30) days of a statement for services properly performed, the ENGINEER may, upon fourteen (14) days written notice to CITY, suspend performance of services under this CONTRACT. Unless ENGINEER receives payment in full within fourteen (14) days of the date of the notice, the suspension shall take effect without further notice. In the event of a suspension of services under this section, the ENGINEER shall have no liability to CITY for delay or damage caused CITY because of such suspension of services.

**6. GENERAL CONSIDERATIONS**

***6.1 Professional Standards***

Services performed by the ENGINEER under this CONTRACT will be conducted in a manner consistent with that level of care and skill ordinarily exercised by members of the profession currently practicing in the same locality under similar conditions. The ENGINEER shall comply with the applicable laws and rules of the current "Texas Engineering Practice Act". CITY's approval, acceptance, use of or payment for all or any part of the ENGINEER'S services herein under or of the project itself shall in no way alter the ENGINEER'S obligations or CITY'S rights thereunder.

***6.2 Progress and Performance***

The provisions of this CONTRACT and the compensation to ENGINEER have been agreed to in anticipation of continuous and orderly progress through the completion of the ENGINEER'S services. Time for performance shall be extended to the extent necessary for delays due to circumstances over which the ENGINEER has no control. If the ENGINEER'S services are suspended or delayed the times of performance shall be extended to the extent of such delay or suspension. A delay or suspension shall not terminate this CONTRACT unless ENGINEER elects to terminate in accordance with the provisions of Section 5 of this CONTRACT. If a delay or suspension extends for a period of greater than one year for reasons beyond the control of the ENGINEER, the fees and rates of compensation set forth in Section 4 shall be subject to re-negotiating.

***6.3 CITY Control***

It is understood and agreed that CITY shall have complete control of the services to be rendered, and that no work shall be done under this CONTRACT until the ENGINEER is instructed to proceed with the work.

***6.4 Independent Agent***

ENGINEER and CITY agreed that ENGINEER and any officer, employee or agent of ENGINEER, in the performance of this CONTRACT shall act in an independent capacity and not as an officer, agent or employee of CITY.

***6.5 Compliance with Laws***

ENGINEER shall comply with all Federal, State, and local laws and ordinances in the execution of all work in connection with this PROJECT.

### **6.6 No Additional Work Without Authorization**

Any provision in the CONTRACT notwithstanding, it is specifically understood and agreed that the ENGINEER shall not authorize or undertake any work pursuant to this CONTRACT, which would require the payment of any fee, expense or reimbursement in addition to the fee stipulated in Article 4 of this CONTRACT, without having first obtained specific written authority therefore from CITY.

### **6.7 Assignment & Subcontracting**

This CONTRACT shall not be assigned or subcontracted in whole or part without the written consent of CITY.

### **6.8 Indemnification**

ENGINEER, its officers, agents and employees agree to indemnify, hold harmless, and defend CITY, at ENGINEER'S cost, its officers, agents, and employees from and against any and all claims or suits for injuries, damages, loss, or liability of whatever kind of character, arising out of or in connection with the performance by the ENGINEER of those services contemplated by the CONTRACT, based upon negligent acts or omissions of ENGINEER, its officers, agents, employees, consultants and subcontractors, whether or not caused solely by the ENGINEER, its officers, agents, employees, consultants or subcontractors or jointly with any other party.

ENGINEER agrees that he is solely responsible for the safety of himself and his employees in the performance of this CONTRACT and agrees to indemnify and hold harmless CITY, its officers and agents from and against any liability arising from the personal injury or death of the ENGINEER or the employees of the ENGINEER arising out of or in connection with this CONTRACT.

### **6.9 Insurance**

ENGINEER shall secure and maintain insurance that will protect him from claims under the Worker's Compensation Act (statutory amounts).

ENGINEER shall secure and maintain Commercial General Liability Insurance that will protect him from claims for bodily injury, death or property damage which may arise from the performance of his services under this CONTRACT, written on an occurrence basis, in the following amounts:

For engineering design contracts for more than \$10,000.00, insurance in an amount not less than \$500,000 per occurrence and \$1,000,000 annual aggregate for bodily injury or death and property damage. ENGINEER shall maintain Comprehensive Automobile Liability Insurance covering all owned, non-owned, and hired

vehicles with combined single limit coverage of \$1,000,000 for bodily injury, death or property damage.

ENGINEER shall maintain, at no expense to CITY, a professional liability (errors and omissions) insurance policy placed with a company rated at least A-/VII by Best's Key Rating Guide, authorized to do business in Texas. This coverage must be maintained for at least two (2) years after the PROJECT is completed. Coverage must be written on an occurrence basis. However, at its sole discretion, the CITY may accept coverage written on a claims-made basis if the policy provides for a retroactive date equivalent to the inception date of the CONTRACT or earlier, maintained during the full term of the CONTRACT. The minimum limits of coverage shall be in the following amounts:

All policies, except Worker's Compensation and Professional Liability, shall name the CITY as additional insured. All policies shall contain a waiver of subrogation in favor of the CITY and shall require the giving of written notice to CITY at least thirty (30) days prior to cancellation, non-renewal or material modification of any policies, evidenced by return receipt of United States Certified Mail. ENGINEER shall furnish CITY with copies of said policies or certificates evidencing such coverage.

#### **6.10 Property**

All documents, including drawings, field notes, surveys, tracings, calculations, computer input and output, digital or computer files, etc., prepared by the ENGINEER pursuant to this contract shall become the property of CITY. The ENGINEER may retain copies of all documents. Any reuse of the documents shall conform to The Texas Engineering Practice Act.

#### **6.11 Governing Law**

This CONTRACT has been made under and shall be governed by the laws of the State of Texas. The parties agree that the performance and all matters related thereto shall be in Rockwall, Texas.

**7. DOCUMENT EXECUTION**

IN WITNESS WHEREOF, the parties have executed this CONTRACT the \_\_\_\_\_ day of \_\_\_\_\_, 2026.

**City of Rockwall, Texas  
Rockwall City Hall  
385 South Goliad  
Rockwall, Texas 75087**

By: \_\_\_\_\_

Date: \_\_\_\_\_

**ENGINEER  
Pipeline Analysis, LLC  
1115 Main Street  
Garland, Texas 75040  
(800) 637-0164**

By: Mattie A. Engels  
Mattie A. Engels, P.E. (Vice-President)

Date: January 6, 2026

# Exhibit A

## Detailed Scope of Services

The purpose of this project is to perform a condition assessment on a portion of the City of Rockwall wastewater collection system and identify system defects that contribute to wet weather infiltration/inflow. The following summarizes the project tasks and approach to the project:

### TASK 100 MOBILIZATION

Mobilize project team and coordinate startup. Establish personnel assignments and responsibilities. Inventory equipment needs and order expendable supplies. Review all relevant existing materials, previous reports, etc. developed for or by the City of Rockwall.

#### *Deliverable:*

1. Delivery of equipment and personnel
2. Work maps with delineated boundaries

#### *To Be Provided by City:*

1. Previous studies for the service area to be investigated
2. Sewer maps
3. Previous inspection data, where available
4. Access for placement of equipment and personnel
5. Copies of all applicable reports, maps and historical data for the study area at no cost to ENGINEER
6. As-built drawings, sewer key maps, street plans, electronic aerial photographs if available and if requested at no cost to ENGINEER

### TASK 200 MANHOLE/PIPE INSPECTION

Manholes can be a significant source of extraneous infiltration/inflow and thereby reduce system wet weather capacity. For this reason, each manhole within the study area is inspected. For the study area designated, field inspection crews will perform an inspection of manholes. The data gathered during this phase of the project will be used to prioritize manholes for rehabilitation and establish the base data necessary to accurately determine mainline sewer rehabilitation alternatives and costs. Other important deliverables resulting from this work task are the updating of the collection system map, determination of debris levels in pipes and verification of pipe sizes. This information is critical in preparing subsequent rehabilitation plans, cleaning requirements to restore capacity and updating of the system maps.

Inspection personnel will use digital cameras during the inspection of all manholes on this project. All photographs will be included in the field inspection computer database so that a permanent electronic record can be maintained. During inspection, each of the following types of information will be obtained to establish the condition and prioritize least cost repairs:

1. Study Area Designation
2. Manhole/Cleanout ID
3. Inspection Status (buried, could not locate, no access, etc.)
4. Address and Sub-meter GPS coordinate (x,y) of manhole
5. Surface cover, grade, type of cover (paved, yard, etc.)
6. Material of construction – brick, concrete, etc.
7. Area and Internal photo of manhole
8. All incoming and outgoing pipe depths from rim to invert
9. All incoming and outgoing pipe digital photographs
10. Outgoing pipe length
11. Defects – Active, Evidence or No Infiltration/Inflow with digital photographs
12. Field corrections to collection system map

Upon completion of the manhole inspection, a condition assessment will be prepared for inclusion in the final report that will include:

1. Documentation with summary of field observations
2. List of manholes/lines requiring repair/rehabilitation
3. Digital photos
4. Documentation for preparing manhole rehabilitation quantities
5. Field updated map(s)
6. Prioritized Manhole Repair Recommendations and Cost Estimates

*To Be Provided by City:*

1. Current collection system map
2. Access (if requested) to manholes that are buried or could not be opened.
3. Assistance in locating assets (if requested)

*Measurement of Payment:*

Payment for this work task shall be a unit price for each manhole documented. Those manholes that are located, but buried or could not be opened will be noted and a list provided to the City. Manholes that could not be located using metal detectors or probes will be listed as Could Not Located (CNL). CNL manholes will not be billed. The City will provide replacement covers at no cost should a cover be broken while attempting opening.

## TASK 300 SMOKE TESTING/PUBLIC AWARENESS/DATA ENTRY & ANALYSIS

Smoke testing will provide detailed information on wet weather inflow sources for the study area. In order to identify defects in the lines, a non-toxic smoke will be forced into the sewer by high-capacity blowers. Data documentation includes measurements from two permanent points and will be sufficient to establish the location of each defect and determine the best repair method and priority. Color digital photographs will be taken to document each defect during the smoke test.

Forty-eight (48) hours prior to testing, door hangers will be used to notify residents. A local telephone number will be provided for those individuals with questions or for anyone requiring special assistance. Each day the fire department will be notified of the crew location since smoke may enter homes through defective plumbing.

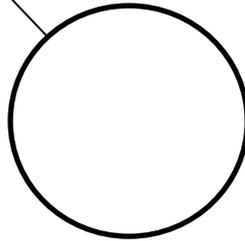
### *To Be Provided by City:*

1. Review and approval of Notice to Residents
2. Letter of introduction to be carried by field crews
3. Previous City smoke testing data, if any

### *Deliverables:*

1. Defects listing and database
2. Defect location sketch
3. Digital photographs
4. Smoke Notification Flyers and Notification of Residents
5. Priority ranking of defects (both private and public sector)
6. Repair methods and estimated costs

**Review  
Draft**



City of Rockwall  
*The New Horizon*

## **SMOKE TESTING NOTICE TO RESIDENT**

For the next few days, inspection crews will conduct a physical survey of the wastewater collection system. Pipeline Analysis will perform this study, which involves opening manholes in the streets and backyard utility easements. Information gained from this study will be used to repair and improve the wastewater collection system.

One important task of the survey will be **smoke testing** of sewer lines to locate breaks and defects in the system. During this testing, white smoke will exit through vent pipes on the roofs of homes and through sewer line breaks. **The smoke is non-toxic, leaves no residue, and creates no fire hazard.** The smoke should not enter your home unless defective plumbing exists or drain traps are dry.

If you have seldom-used drains, please pour a gallon of water in the drain to fill the drain trap. This procedure will help prevent the possibility of smoke entering your living areas through those drains.

Field crews will perform testing of all sewers in the area. **At no time will field crews have to enter your business or residence.**

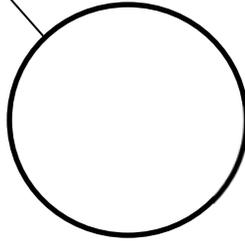
Your cooperation is appreciated. Should you have any additional questions concerning this study or if you desire special assistance, please phone:

**800-637-0164**



QR Code for frequently  
asked questions

**Review  
Draft**



City of Rockwall  
*The New Horizon*

## **PRUEBAS DE HUMO AVISO A LOS RESIDENTES**

Para los próximos días, los equipos de inspección llevará a cabo una inspección física de la red de alcantarillado. El Análisis de Pipeline Company, LLC llevará a cabo este estudio bajo contrato con la ciudad de Rockwall. El proyecto consiste en la apertura de pozos en las calles y servidumbres domésticas de servicios públicos. La información obtenida de este estudio se utilizarán para reparar y mejorar el sistema de recolección de aguas residuales.

Una tarea importante de la encuesta serán las pruebas de humo de líneas de alcantarillado para localizar roturas y defectos en el sistema. Durante esta prueba, el humo blanco saldrá a través de tubos de ventilación en los techos de las casas y por medio de saltos de línea de alcantarillado. El humo no es tóxico, no deja ningún residuo, y no crea ningún peligro de incendio. El humo no debe entrar a su casa a menos que exista o plomería defectuosa sifones están secos.

Si ha utilizado muy pocas veces-piso, lavabo, bañera o ducha desagües, por favor, vierta un litro de agua en el desagüe para llenar el sifón. Este procedimiento le ayudará a prevenir la posibilidad de humo introducción de sus áreas vivas a través de los desagües.

El personal de campo se realizan pruebas de todos los desagües de la zona. En ningún momento desplegar los equipos tiene que introducir su negocio o residencia.

Su cooperación es apreciada. Si tiene alguna pregunta adicional sobre este estudio o si desea recibir asistencia especial, por favor llame al:

**800-637-0164**



QR Code for frequently  
asked questions

## Task 400      Dye Flooding

Pipeline Analysis staff will provide a listing of recommended location(s) for dye water flooding. Dye water flooding can be anticipated to assist in the locating of specific defects during CCTV inspection of specific defects. Non-toxic dye may be introduced as a powder or liquid. Cross-connections, roof drains and area drains that are suspected of being connected to the sanitary sewer may be positively identified using the dye tracer procedure. Internal CCTV inspection, while the dye flooding is taking place, will determine the exact source of the 'cross-connection'.

### *To Be Provided by City:*

1. Cleaning and CCTV crew
2. Water for dye flooding
3. Coordination with Pipeline Analysis

### *To Be Provided by Pipeline Analysis:*

1. Locations for dye water flooding
2. Liquid or powder dye for use by the City
3. Field Forms to be used to document results
4. Documentation of results

## TASK 500 & 600 PREPARATORY CLEANING AND CCTV INSPECTION

Task 500 and 600 will be performed by City crews. Pipeline Analysis staff will prepare a detailed listing of line segments recommended for cleaning and CCTV inspection. Preparatory cleaning shall consist of hydraulic jet cleaning to facilitate the internal CCTV inspection. The City of Rockwall staff will perform this phase of the work in coordination with Pipeline Analysis.

### *To Be Provided by City:*

1. Preparatory cleaning of CCTV pipe segments
2. CCTV inspection of recommended pipe segments
3. Provide CCTV video including:
  - a. Date inspected
  - b. Line segment inspected
  - c. Location (Address) and Asset ID
  - d. Digital video of inspection and written logs of work performed

### *To Be Provided by Pipeline Analysis:*

1. Review video and logs not to exceed 15% of study area linear footage
2. Summary of line segments cleaned and CCTV'd
3. Prepare prioritized mainline rehabilitation plan and estimated costs
4. Incorporate Cleaning and CCTV inspection results into final report

## TASK 700 ADMINISTRATION AND PROJECT MANAGEMENT

This task includes internal project administration and oversight including scheduling, budget, quality assurance and control meetings and reporting. The project schedule will be reviewed and milestones for the completion of each task will be assigned. The project schedule will be reviewed and updated monthly to ensure that all tasks are completed in a timely and organized fashion.

Management work items include:

1. Field crew supervision and project planning
2. Obtain initial maps for field use and verification
3. Prepare cleaning, CCTV and dye flooding documentation for City
4. Prepare monthly billings
5. Schedule equipment and order supplies

Major system deficiencies that are identified during the field inspections that if corrected would result in significant reduction in I/I or is deemed to be of a safety concern will be recorded and forwarded as soon as possible to City's designated project manager. Likewise, should City undertake a major repair within the study area, they will immediately notify ENGINEER to determine the impact on data analysis.

*Deliverables:*

1. Monthly invoice
2. Status reports
3. Project schedule and updates

*To Be Provided by City:*

1. All reports or materials deemed necessary by ENGINEER and identified during the course of the project that is not specifically stated above will be provided at no additional cost to the ENGINEER

## TASK 800 DEFECT ANALYSIS/ REHABILITATION PLAN/FINAL REPORT

This project will generate a considerable amount of data that will require proper entry and quality control. Data collection will include the following:

1. All collected defect data will be correlated between sources to address duplicate defects that were identified by different testing methods. Identify duplicate defects to ensure multiple rehabilitation methods are not recommended for the same defect.
2. Much of the baseline data required for rehabilitation decision is gathered during the normal course of field investigations. For example, "area photos" are taken of each manhole in the direction of the outgoing pipe. This photograph not only shows the location of the manhole but also provide data on the line cover and easement conditions.
3. Rehabilitation recommendations will consider the best repair for the particular asset (manhole, pipeline, etc.) being rehabilitated. A long-term least-cost solution may have an initial higher cost, but provide a higher level of service and lower operating and maintenance cost. The supporting data will be provided in electronic format.

### *To Be Provided by City:*

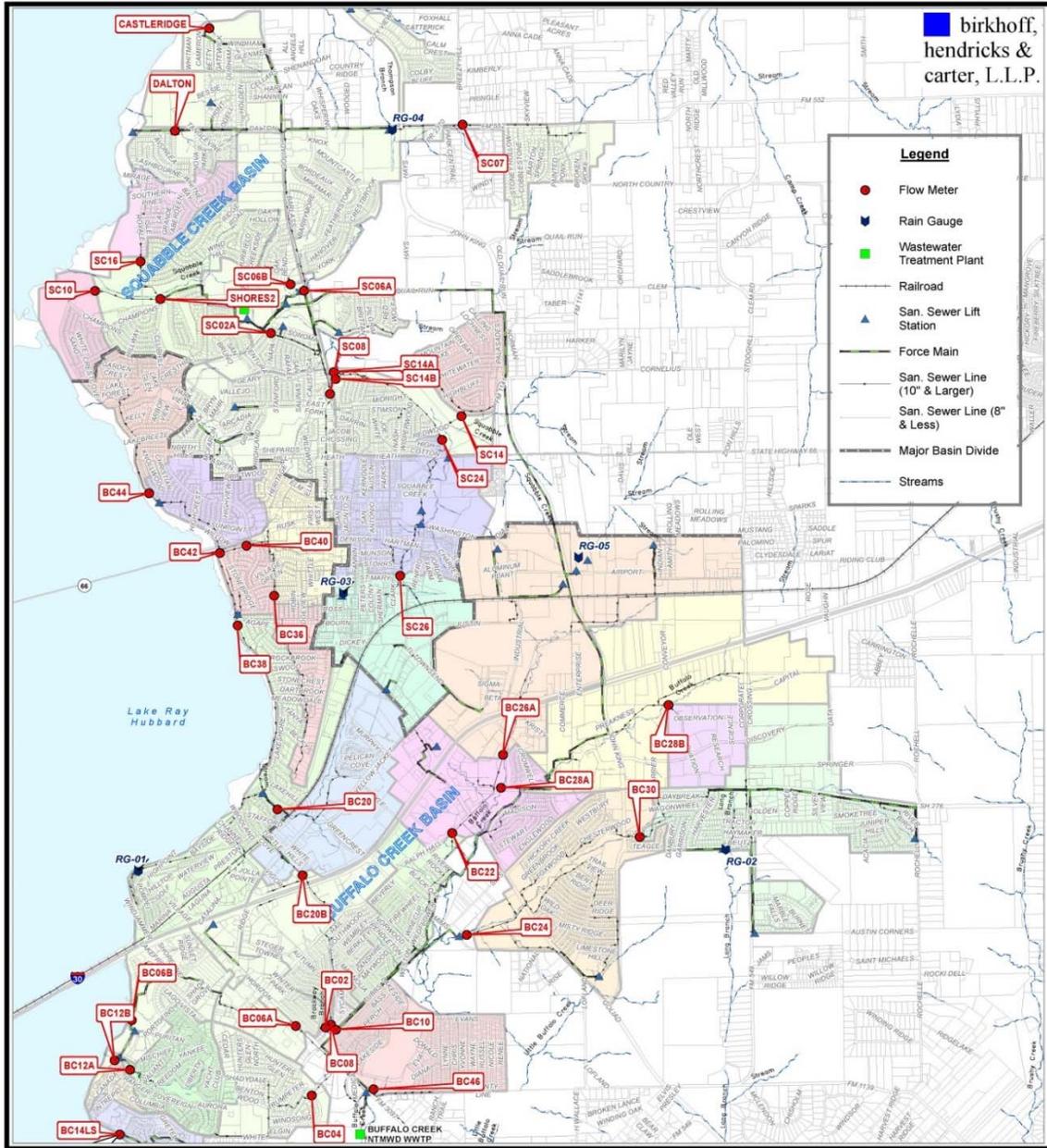
- Complaint records and SSO database
- Review and comments on rehabilitation methods, cost estimates, and alternatives
- Engineer will provide electronic files of the City corrected GIS maps in ArcGIS. The City will have the final authority to accept the changes and update their master GIS map files.

Prepare and submit a Final Report that includes the following:

- Executive Summary
- Description of all tasks
- Manhole and pipe inspection summary/inventory
- Manhole defect summary
- Pipeline defect summary
- Service lateral defect summary
- Smoke test data summary
- Dye Flooding and CCTV data summary
- Recommendations and Cost Estimates for Private and Public sector repairs

Prepare and submit three (3) Final Reports and electronic database.

# Study Area Map Flow Meter Basins BC12B, BC24, BC06B, BC14, Dalton and Castleridge



**City of Rockwall**  
**2015 WASTEWATER FLOW MONITORING STUDY**

**Flow Meter  
& Rain Gauge  
Overview Map**

C:\Projects\Rockwall\2015113 WW Flow Monitoring\Report Figures.mxd

# Condition Assessment Priority Ranking



City of Rockwall  
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## 10 Year Condition Assessment CMOM Program Priority Ranking of Meter Basins

2015 Wastewater Flow Monitoring Study - Birkhoff, Hendricks & Carter, LLP

Completed  
Proposed

Meter Basin	RDII (mg)	Pipe (l.f.)	Manholes	RDII/Linear Foot	RDII Ranking	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027
SC26	0.51	21,915	66	23.27	1	21,915										
BC20B	1.76	119,423	362	14.74	2			119,423								
BC06A	0.33	22,548	232	14.64	3		22,548									
SC06B	0.11	8,527	26	12.90	4		8,527									
BC10	0.49	42,097	128	11.64	5		42,097									
BC08	0.48	45,259	137	10.61	6				45,259							
BC46	0.50	48,992	148	10.21	7				48,992							
BC38	0.39	39,947	121	9.76	8				39,947							
BC42	0.25	26,060	79	9.59	9		26,060									
SC08	0.46	48,246	146	9.53	10					48,246						
SC14AB	0.31	33,192	101	9.34	11					33,192						
SC24	0.37	45,123	137	8.20	12					45,123						
BC28A	0.22	30,660	155	8.11	13						30,660					
BC28B	0.06	7,920	23	7.58	14						7,920					
SC14	0.11	23,095	80	7.47	15						23,095					
BC04	0.18	24,645	80	7.41	16						24,645					
BC40	0.22	28,400	110	7.14	17						28,400					
BC20	0.15	33,920	132	6.59	18							33,920				
BC44	0.21	31,705	108	6.40	19							31,705				
SC02A	0.31	33,820	135	6.33	20							33,820				
BC02	0.12	15,780	58	6.17	21							15,780				
SC10	0.06	10,535	33	5.37	22								10,535			
BC28A	0.29	49,005	156	4.87	23								49,005			
BC30	0.31	53,190	185	4.25	24								53,190			
SC16	0.08	19,700	71	3.94	25									19,700		
BC12B	0.05	8,690	46	3.76	26										8,690	
SHORES2	0.20	57,570	176	3.62	27									57,570		
BC12A	0.16	38,885	175	3.46	28									38,885		
BC24	0.16	51,315	157	3.06	29										51,315	
BC06B	0.06	19,900	100	2.98	30										19,900	
BC14	0.10	20,925	85	2.93	31										20,925	
DALTON	0.05	14,180	58	2.69	32										14,180	
BC22	0.11	39,755	159	2.44	33											39,755
SC06A	0.10	62,130	199	2.31	34											62,130
BC36	0.05	22,340	68	2.24	35											22,340
SC07	0.05	22,860	71	2.15	36											22,860
CASTLERIDGE	0.02	11,155	34	1.73	37										11,155	
<b>Total</b>		<b>1,233,389</b>	<b>4,337</b>			<b>21,915</b>	<b>99,232</b>	<b>119,423</b>	<b>134,198</b>	<b>126,561</b>	<b>114,720</b>	<b>115,205</b>	<b>112,730</b>	<b>116,155</b>	<b>126,165</b>	<b>147,085</b>

### Study Area Quantities

480 Manholes  
126,165 Linear Feet Mainline

## Compensation Sewer System Evaluation Survey

### Year 9 Basins BC12B, BC24, BC06B, BC14, DALTON, CASTLERIDGE

Task	Description	Estimated Quantity	Unit Price	Total
100	Mobilization	L.S.	L.S.	\$ 2,030.00
200	Manhole/Pipe Inspection -(100%)	480	\$ 153.00	\$ 73,440.00
300	Smoke Testing, Public Awareness, Data Entry & Analysis (100%)	126,165	\$ 0.71	\$ 89,577.15
400*	Dye Flooding	0	\$ -	\$ -
500*	Preparatory Cleaning	0	\$ -	\$ -
600*	CCTV Inspection	0	\$ -	\$ -
700	Admin.,Project Mgt.	L.S.	L.S.	\$ 4,465.00
800	Defect Analysis/Rehab.	L.S.	L.S.	\$ 5,155.00
900	Database, Cost Estimates, Mapping, Final Reports	L.S.	L.S.	\$ 23,030.00
<b>Total Not To Exceed (City performs Dye Testing, Cleaning &amp; CCTV)</b>				<b>\$ 197,697.15</b>

## Project Schedule Sewer System Evaluation Survey

Task	Description	Month								
		1	2	3	4	5	6	7	8	9
100	Mobilization	█								
200	Manhole/Pipe Inspection	█	█	█						
300	Smoke Testing				█	█	█			
400*	Dye Flooding						█	█		
500*	Preparatory Cleaning						█	█		
600*	CCTV Inspection						█	█		
700	Admin/Project Management	█	█	█	█	█	█	█	█	█
800	Defect Analysis/Rehab						█	█	█	█
900	Mapping and Final Report							█	█	█

\* Note - Performed by City of Rockwall



## CITY OF ROCKWALL, TEXAS MEMORANDUM

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**TO:** Mary Smith, City Manager  
Joey Boyd, Assistant City Manager  
Misty Farris, Purchasing Agent

**FROM:** Travis E. Sales, Director Parks, Recreation and Animal Services

**DATE:** January 20, 2026

**SUBJECT:** Harry Myers Splash Ground

---

This project is for the demolition of existing splash ground and the installation of a new splash ground meeting all specifications. The total budget for this project is \$250,000 to be funded out of the Recreation Development Fund. This is an approved 2025-2026 budget request.

The successful best value proposal was provided by Splash Pad USA

Quote #1: SplashPad USA \$250,000.00 sealed bid  
Quote #2: Oasis \$266,000.00 sealed bid  
Quote #3 All Aquatics \$324,289.69 sealed bid

Sealed bids/proposals were opened on January 7, 2026 at 2:00pm and the City has met all formal bidding requirements pertaining to the demo and installation of new splash ground.

For Council consideration this Harry Myers Splash Ground project bid award to the above listed vendor for an amount not to exceed \$250,000.00 and authorize the City Manager to execute purchase orders and/or contracts for this project.



## CITY OF ROCKWALL, TEXAS MEMORANDUM

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**TO:** Mary Smith, City Manager  
Joey Boyd, Assistant City Manager

**FROM:** Travis E. Sales, Director Parks, Recreation and Animal Services

**DATE:** January 20, 2026

**SUBJECT:** Grounds Maintenance Services Contract Extension

---

The current large landscape maintenance services contract provides for mowing, weed eating, trimming and debris removal at City facilities, parks, street medians, ROW and thoroughfares. Maintenance includes but is not limited to all trees, shrubs, ground cover, beds, turf, mulch and application of some herbicides and insecticides. These contracts provide for an annual extension at end of the initial contract period for up to three consecutive years should the scope of work and contracted bid conditions remain the same; and both parties agree to the extension. Staff has determined that it is in the best interest of the City to renew these contracts this year as the Contractors have performed satisfactorily over the last 12 months.

### Large Contract

The large service contract was granted an annual extension by city council in January 2025 (1<sup>st</sup> renewal) awarded to Southlake Landscaping and Maintenance (SLM). The current contract amount is \$676,651.04.

SLM has agreed to the contract renewal and asked for a 3.0% price increase in relation to their increase in salaries to retain experienced employees and rising fuel cost. This price increase request is afforded by contract and compared to the Municipal Cost Index (MCI) average percent change for 2025 Dallas/Fort Worth area of +2.89%. Using this index helps staff determine whether a price increase may be warranted. This 3.0% request equates to an annual contract increase of \$51,818,83 based on the 2025 contract amount and some additional site added to the contract in 2025 and this increase will be absorbed in the current Parks and Harbor grounds maintenance budgets and amended budget. The 2026 contract renewal total including the 3.0% increase would be \$728,469.87. A 5% increase was already in the 2025-2026 budget to be prepared for an increase request in the 2026 renewal cycle.

Staff asks City Council to consider authorizing the City Manager to execute this contract extension for a period of one-year for the new 2026-projected cost.





City of Rockwall  
*The New Horizon*

## MEMORANDUM

---

**TO:** Mary Smith, City Manager  
**FROM:** Edward Fowler, Chief of Police  
**DATE:** January 12, 2025  
**SUBJECT:** Proposed Jail Services Contract

---

The City of Rockwall currently contracts with Rockwall County to provide all jail services for persons arrested by the Rockwall Police Department. A newly proposed Interlocal Agreement (ILA) has been presented by Rockwall County, which will be in effect until September 2027 with a fee schedule of \$100 per day for each prisoner being housed for a Class C Misdemeanor or City Ordinance violation.

The ILA has been reviewed by the City's Legal Counsel, Frank Garza, who has approved the initial agreement. However, Mr. Garza proposed the additional of an addendum addressing two specific areas, Section 9. Termination and Section 10. Civil Liability. Mr. Garza has communicated directly with Rockwall County's Legal Counsel Craig Stoddart on the addendum, which is currently pending approval within Rockwall County.

Mr. Garza's addendum has been included for review along with the original Jail Services ILA. Staff requests the City Council consider authoring the City Manager to execute the Jail Services Contract with Rockwall County for the defined term.

Attachments  
As stated

**INTERLOCAL JAIL SERVICES AGREEMENT BETWEEN  
ROCKWALL COUNTY AND THE CITY OF ROCKWALL**

THE STATE OF TEXAS           §  
  §  
COUNTY OF ROCKWALL       §

This Interlocal Jail Services Agreement, entered pursuant to the Interlocal Cooperation Act, Chapter 791 of the Texas Government Code, is between Rockwall County (the “County”), a political subdivision under the laws of the State of Texas, acting by and through its Sheriff’s Office (the “Sheriff”), and the City of Rockwall (the “City”), also a political subdivision under the laws of the State of Texas. The County and the City may be collectively referred to as the “Parties” or individually as a “Party.”

**Section 1. Recitals**

1. The County operates the Rockwall County Detention Facility (“County Jail”) under Chapter 351 of the Texas Local Government Code and part 9 of Title 37 of the Texas Administrative Code.
2. The County generally operates the County Jail for the confinement of persons accused or convicted of a violation of state law. *See* Tex. Code Crim. Proc., arts. 2.17-2.18. However, the Sheriff may also accept custody of persons accused of class C misdemeanors, including “City Prisoners” as that term is defined in Section 3 below.
3. The City desires to obtain, and the County desires to provide, certain jail services from the County for the confinement of persons accused of class C misdemeanors or other violations of municipal ordinances.

**Section 2. Term of Agreement**

The term of this Agreement shall commence on October 1, 2025, and shall continue in full force and effect through September 30, 2027.

**Section 3. Scope of Services**

1. The Sheriff shall house, support, maintain, and or detain City Prisoners in the Rockwall County Detention Facility, subject to the terms of this Agreement.  
  
“City Prisoner” means a person at least 17 years of age who has been arrested by a City Peace Officer, and charged with, or convicted of, offenses within the jurisdiction of the Municipal Court or Courts of the City.
2. Each Party shall comply with and assure compliance by each Party’s officers, employees, agents, volunteers, contractors, and subcontractors, as applicable, operating under this Agreement with all applicable state, federal, and local laws, ordinances, regulations,

executive orders, rules, directives, standards, guidelines, and instructions relating to the work to be performed in connection with this Agreement.

**Section 4. City Responsibilities**

1. City shall provide City Peace Officers to perform services under this Agreement.
2. City, acting by and through its City Peace Officers, shall be responsible for the presentment and discharge of City Prisoners until the Sheriff accepts and confines each prisoner to the County Jail.
3. City shall prepare and provide appropriate paperwork for the presentment and discharge of a City Prisoner.

**Section 5. County Responsibilities**

1. If the Sheriff accepts a City Prisoner for confinement in the County Jail, the Sheriff shall assume responsibility for the care, custody, and support of the City Prisoner to the extent required in this Agreement for the period beginning when the Sheriff accepts the City Prisoner until the City Prisoner is released from confinement in the County Jail pursuant to this Agreement.
2. Except as otherwise provided, the Sheriff shall only release a City Prisoner committed to the County Jail when discharge of the City Prisoner is lawfully ordered or authorized by a magistrate or any court of competent jurisdiction.
3. Nothing in this Agreement shall obligate the Sheriff to house City Prisoners if the housing of such City Prisoners will, in the opinion of the Sheriff, raise the population of the facility above permissible numbers of inmates allowed by law, or will, in the Sheriff's opinion, create a condition of overcrowding or create conditions which endanger the life or welfare of personnel and inmates at the facility, or result in possible violation of the constitutional rights of inmates housed at the facility.
4. If the Sheriff determines at any time that a condition exists necessitating the removal of a City Prisoner, or any number thereof, the City shall, upon notice by the Sheriff, immediately remove the specified prisoners from the facility.
5. Nothing in this Agreement shall authorize or obligate the Sheriff to hold any person, including City Prisoners, in custody contrary to the Constitution or the laws of the State of Texas and the United States of America.

**Section 6. Medical Care**

1. The Sheriff, at its sole option, may choose not to accept a City Prisoner when in the Sheriff's opinion the City Prisoner appears ill or injured, or the City Prisoner needs immediate or significant medical treatment. The Sheriff's opinion as to what constitutes overcrowded conditions, illness, injury, significant medical treatment, or any other acceptance or detention considerations shall be final and binding on the Parties to this Agreement.
2. The Sheriff shall determine whether a City Prisoner should be transported to a hospital for medical treatment, upon presentation of any City Prisoner at the County Jail.
3. The Sheriff may refuse to accept or detain an ill or injured City Prisoner when it is deemed by the Sheriff that medical attention is necessary before confinement in the County Jail.
4. If the Sheriff determines, at any time or for whatever reason, that a City Prisoner must be sent to a hospital or other medical facility that is not part of the County Jail, the Sheriff shall notify City and City shall make immediate arrangements for appropriate City personnel to go to the medical facility to take custody of the City Prisoner from the Sheriff. City shall reimburse County for any medical expenses billed to the County for the transport or treatment of the City Prisoner.
5. The per diem rate under this Agreement covers ONLY routine medical services such as on-site sick calls and administration of non-prescription, over-the-counter medication and treatment supplies. The per diem rate does NOT cover medical/health care services provided outside the County Jail or performed by non-jail staff, prescription drugs and treatments, or surgical, optical, or dental care, and does not include any costs associated with hospitalization of a City Prisoner. Costs incurred for medical/health care services provided to a City Prisoner which are not included in the per day rate shall be billed to and borne by the City.

**Section 7. Compensation**

1. The per diem rate for detention services under this Agreement is One Hundred Dollars (\$100.00) per day. This rate covers one inmate per day.
2. For purposes of this Agreement, a "day" is defined as any portion of the twenty-four (24) hour period from midnight to midnight. This encompasses both the day a City Prisoner arrives and the day a City Prisoner is released. For example, if a City Prisoner arrives at the County Jail at 11:50 p.m. and is released 6 hours later at 5:50 a.m., the City will be charged for 2 days.

**Section 8. Billing Procedure**

Not later than 30 days from the last day of each calendar month, the County shall submit an itemized invoice to the City for services rendered under this Agreement in the prior month. All invoices must be submitted to the City by email to MSmith@rockwall.com or by U.S. mail to 385

S. Goliad Street Rockwall, TX 75087. Each invoice shall be in a form acceptable to the City and shall include sufficient detail as is reasonably necessary to describe and verify the services provided.

City shall make payment to the County within thirty (30) days after receipt of the invoice. Payment shall be in the name of the Rockwall County Auditor and shall be remitted to:

Rockwall County Auditor  
1101 East Yellowjacket Lane, Suite 170  
Rockwall, TX 75087

### **Section 9. Termination**

1. Either Party may terminate this Agreement for any reason by giving thirty (30) days written notice to the other Party.
2. Within thirty (30) days after receipt of a termination notice from the Sheriff, the City shall take custody of all City Prisoners being held in the County Jail.
3. Within thirty (30) days following the termination of this Agreement, the Sheriff shall submit an invoice showing in detail the Services performed under this Agreement up to and including the date of termination.
4. The City agrees to pay the County the prescribed charges for services actually performed under the Agreement up to and including the date of termination.
5. *Force Majeure.* In the event that either Party is unable to perform any of its obligations under this Agreement or to enjoy any of its benefits because of natural disaster, actions or decrees of governmental bodies, or communication line/network failure not the fault of the affected Party, the Party who has been so affected agrees to give notice to the other Party (as soon as may be practical) and agrees to do everything reasonably possible to timely resume performance. Upon receipt of such notice, the Agreement is immediately suspended. If the period of nonperformance exceeds ten (10) calendar days from receipt of the *Force Majeure* notice, the Party whose ability to perform has not been so affected may terminate the Agreement immediately by giving written notice to the other Party.

### **Section 10. Civil Liability**

To the extent permitted under Texas Law, the City shall be responsible for any civil liability that arises from the County's provision of services under this Agreement. *See Generally* Tex. Gov't Code §791.006(b). The City shall defend, indemnify, and hold harmless the County from and against all demands, claims, damages, losses, and liabilities, including attorney's fees and litigation expenses, that arise directly or indirectly from the County's performance of this Agreement. This provision is subject to subsection (b) of sections 5 and 7 of article XI of the Texas Constitution.

Jail Services Agreement 10/2025 – 09/2027 RSOTG z:sheriff/jail/contracts

Nothing in this provision adds to or changes the liability limits and immunities for a governmental unit provided by the Texas Tort Claims Act, Chapter 101, Texas Civil Practice and Remedies Code, or other law; nor does it create a joint enterprise for the purpose of assigning or determining liability, other provisions of the Agreement notwithstanding.

**Section 11. Prior Agreements Superseded**

This Agreement represents the entire agreement of the Parties, superseding all prior agreements, and will not be amended or modified other than in a writing signed by the Parties. No Party will try to enforce a purported amendment that is not written and properly approved by each Party's governing body under section 791.011(d) of the Texas Government Code.

**Section 12. Notices**

Unless otherwise specified, the Parties will communicate under this Agreement in writing or by email sent to the following addresses:

Jail Administrator  
Rockwall County Detention Center  
950 T. L. Townsend Drive  
Rockwall, TX 75087  
[email address]

Rockwall County Auditor  
1101 East Yellowjacket Lane, Suite 170  
Rockwall, TX 75087

City of Rockwall Police Department  
205 West Rusk Street  
Rockwall, TX 75087  
EFowler@rockwall.com

City of Rockwall City Manager  
385 S. Goliad Street  
Rockwall, TX 75087  
MSmith@rockwall.com

**Section 13. Dispute Resolution**

Should any dispute arise out of this Agreement, the County and the City will first attempt to resolve it in good faith through direct discussion between the Parties. If the Parties cannot resolve their disagreements, the disputes will be mediated by an acceptable third party chosen by the County and the City. The Parties will share equally the costs of the mediation. Either Party's participation in mediation or other non-binding dispute resolution processes will not be construed as a waiver of any rights, privileges, defenses, remedies, or immunities.

**Section 14. Obligations of Condition**

Jail Services Agreement 10/2025 – 09/2027 RSOTG z:sheriff/jail/contracts

All obligations of each Party under this Agreement are conditions of further performance of the other Party's continued performance of its obligations under this Agreement.

**Section 15. No Party or Agency**

The Parties hereto have not created a partnership, and nothing contained in this Agreement shall in any manner constitute a fiduciary relationship between them. Neither Party shall have authority to act for, or to assume any obligations or responsibility on behalf of the other Party except as may be, from time to time, agreed upon in writing by both Parties or as otherwise expressly provided in this Agreement.

**Section 16. Counterparts**

This Agreement may be executed in counterparts and may be scanned or photocopied; a Party may use a complete counterpart, photocopy, or scan as if it were an original.

ROCKWALL COUNTY, TEXAS

  
\_\_\_\_\_  
Frank New  
Rockwall County Judge

Date: 10-14-25

CITY OF ROCKWALL, TEXAS

\_\_\_\_\_  
Mary Smith  
Rockwall City Manager

Date: \_\_\_\_\_

STATE OF TEXAS                   §  
  §  
COUNTY OF ROCKWALL       §

**INTERLOCAL JAIL SERVICES AGREEMENT BETWEEN ROCKWALL COUNTY  
AND THE CITY OF ROCKWALL AMENDMENT**

This is an Amendment to the Interlocal Jail Services Agreement, entered pursuant to the Interlocal Cooperation Act of the Texas Government Code between **Rockwall County** (“County”) acting by and through its Sheriff Office, and **City of Rockwall**, a political subdivision of the State of Texas (" City"), acting by and through its duly authorized representative. The County and City may be collectively referred to as the “Parties”.

**WHEREAS**, the City and County entered into a Interlocal Jail Services Agreement (hereinafter referred to as the “Agreement”), effective December 2025, to provide detention of City Prisoners for the City; and

**WHEREAS**, the term of the Agreement was for two (2) years from October 1, 2025 through September 30, 2025; and

**WHEREAS**, the City has worked with the County to include some minor revisions to the Agreement;

**NOW, THEREFORE**, for and in consideration of mutual covenants and agreements contained herein, the parties hereby agree as follows:

**SECTION ONE. AMENDMENT ONE** Agreement is hereby amended and shall read as follows:

**Section 9. Termination**

1. Either Party may terminate this Agreement for any reason by giving sixty (60) days written notice to the other Party.
2. Within sixty (60) days after receipt of a termination notice from the Sheriff, the City shall take custody of all City Prisoners being held in the County Jail

**SECTION TWO. AMENDMENT TWO** Agreement is hereby amended and shall read as follows:

**Section 10. Civil Liability**

To the extent permitted under Texas Law, the City shall be responsible for any civil liability that arises from the County’s provisions of services under this agreement. *See Generally* Tex. Gov’t Cde §791.006(b). To the extent permitted under Texas Law, the City shall defend, indemnify, and hold harmless the County from against all demands, claims, damages, losses and liabilities, including attorney’s fees and litigation expenses, that arise directly or indirectly from the County’s performance of this Agreement. Notwithstanding

any provision of this Section, The City shall not be liable for any demands, claims, damages, losses and liabilities resulting from the County's Gross Negligence or Willful Misconduct.

**SECTION THREE** The Amendments in Section One and Section Two are the only changes to the original Interlocal Jail Services Agreement and all other provisions of the original Agreement and Exhibits not in conflict with this Amendment shall remain in full force.

**ROCKWALL COUNTY**

**CITY OF ROCKWALL, TEXAS**

By: \_\_\_\_\_

By: \_\_\_\_\_

Name: Frank New

Name: Mary Smith

Title: County Judge

Title: City Manager

Date: \_\_\_\_\_

Date: \_\_\_\_\_



## CITY OF ROCKWALL, TEXAS MEMORANDUM

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**TO:** Mary Smith, City Manager  
Joey Boyd, Assistant City Manager

**FROM:** Travis E. Sales, Director Parks, Recreation and Animal Services

**DATE:** January 20, 2026

**SUBJECT:** TxDOT Green Ribbon Grant Project

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This request is for a resolution for advanced funding for the TxDOT Green Ribbon Grant Project that The City of Rockwall was awarded through The Texas Department of Transportation in 2023/2024.

This resolution is for the median beautification project on Ridge Road/740 between 205 and IH30. This project includes complete removal of existing landscape and trees, then the installation of new landscape, trees, boulders and irrigation.

City staff have been working with MESA Design Group and TxDOT on the design, and this resolution, followed by City Manager signing the advanced funding agreement, moves us from the design phase to the construction phase.

Staff asks City Council to consider approval of this resolution and consider authorizing the City Manager to execute this advanced funding agreement with the Texas Department of Transportation.

CITY OF ROCKWALL, TEXAS

RESOLUTION NO. 26-02

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, APPROVING AN ADVANCED FUNDING AGREEMENT (“AFA”) WITH THE TEXAS DEPARTMENT OF TRANSPORTATION (“TXDOT”) FOR THE TXDOT GREEN RIBBON PROGRAM FOR A LANDSCAPING IMPROVEMENTS BEAUTIFICATION PROJECT ALONG FM-740 WITHIN THE CORPORATE LIMITS OF THE CITY OF ROCKWALL FROM THE VICINITY OF IH-30 TO SH-205; AUTHORIZING THE CITY MANAGER TO EXECUTE ALL NECESSARY AND RELATED DOCUMENTS ON BEHALF OF THE CITY; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the Texas Department of Transportation's Green Ribbon Program was established to allocate funds for landscaping activities including planting and establishment of trees and plants on the state highway system; and; and

**WHEREAS**, the City of Rockwall has been awarded Green Ribbon Program funding for landscaping and beautification improvements on FM-740 generally between IH-30 and SH-205; and

**WHEREAS**, the City of Rockwall is authorized to enter into an AFA with TXDOT for this Green Ribbon Program project; and

**WHEREAS**, the Rockwall City Council believes it to be in the best interest of the health, safety and welfare of the public to approve the AFA with TXDOT pertaining to this project as described above; and

**WHEREAS**, Title 43, Texas Administrative Code, Chapter 11, Green Ribbon Program, allows local governments, by the execution of written agreements, to provide money, property or services for the aesthetic improvements on the state highway system; and

**WHEREAS**, Rider 15 of House Bill 1 of the 86th Legislature, expands the Green Ribbon Project, a public-private partnership initiative, to enhance the appearance of public highways by incorporating in the design and improvement of public highways the planting of trees and shrubs emphasizing natural beauty and greenspace, integrating public art, and highlighting cultural uniqueness of neighborhoods, to other areas of the state; and

**WHEREAS**, the Texas Transportation Commission passed Minute Order Number 115814 authorizing the State to undertake and complete a highway improvement or other transportation project generally described as landscaping development. The portion of the project work covered by the Agreement is identified in, Scope of Work; and

**WHEREAS**, all legal and statutory prerequisites for the adoption of this Resolution have been met, including but not limited adherence to the TX Open Meetings Act; and

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That all matters stated hereinabove are found to be true and correct and are incorporated herein by reference.

**Section 2.** That the Rockwall City Council approves entering into the Advance Funding Agreement (AFA) with TXDOT and authorizes the City Manager to execute all necessary and related documents on behalf of the City pertaining to the AFA and/or to the project itself, with said agreement being attached hereto and incorporated herein as **“Exhibit A”** of this resolution;

**Section 3.** That said authorization is included but not limited to authorizing the City Manager to exercise the rights and duties of the City thereunder in order to receive funding through the Green Ribbon Program for landscaping improvements and beautification, as described within this resolution; and

**Section 4.** That this resolution shall take effect immediately from and after its adoption, and it is so resolved.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS THIS 20<sup>th</sup> DAY OF JANUARY, 2026.**

\_\_\_\_\_  
**Tim McCallum, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Kristy Teague, City Secretary**

<b>TxDOT:</b>				<b>Federal Highway Administration:</b>	
CCSJ #	1014-03-063	AFA ID	Z00011005	CFDA No.	20.205
AFA CSJs	1014-03-063			CFDA Title	Highway Planning and Construction
District #	18	Code Chart 64#	36300		
Project Name	FM 740 IH 30 to SH 205			<i>AFA Not Used For Research &amp; Development</i>	

**STATE OF TEXAS           §**

**COUNTY OF TRAVIS       §**

**ADVANCE FUNDING AGREEMENT  
For  
Green Ribbon Program  
On-System**

**THIS AGREEMENT** (Agreement) is made by and between the State of Texas, acting by and through the **Texas Department of Transportation** called the “State”, and the **City of Rockwall**, acting by and through its duly authorized officials, called the “Local Government”. The State and Local Government shall be collectively referred to as “the parties” hereinafter.

**WITNESSETH**

**WHEREAS**, federal law establishes federally funded programs for transportation improvements to implement its public purposes, and

**WHEREAS**, the Texas Transportation Code, Section 201.103 establishes that the State shall design, construct and operate a system of highways in cooperation with local governments, and Section 222.052 authorizes the Texas Transportation Commission to accept contributions from political subdivisions for development and construction of public roads and the state highway system within the political subdivision, and

**WHEREAS**, federal and state laws require local governments to meet certain contract standards relating to the management and administration of State and federal funds, and

**WHEREAS**, the Texas Transportation Commission has codified 43 TAC, Rules 15.50-15.56 that describe federal, state, and local responsibilities for cost participation in highway improvement and other transportation projects, and

**WHEREAS**, the Texas Transportation Commission passed Minute Order Number **116752** authorizing the State to undertake and complete a highway improvement or other transportation project generally described as **landscape development**. The portion of the project work covered by this Agreement is identified in the Agreement, Article 3, Scope of Work (Project), and

**WHEREAS**, the Governing Body of the Local Government has approved entering into this Agreement by resolution, ordinance, or commissioners court order dated **{Enter Date of Resolution}**, which is attached to and made a part of this Agreement as Attachment C, Resolution, Ordinance, or Commissioners Court Order (Attachment C). A map showing the Project location appears in Attachment A, Location Map Showing Project (Attachment A), which is attached to and made a part of this Agreement.

<b>TxDOT:</b>				<b>Federal Highway Administration:</b>	
CCSJ #	1014-03-063	AFA ID	Z00011005	CFDA No.	20.205
AFA CSJs	1014-03-063			CFDA Title	Highway Planning and Construction
District #	18	Code Chart 64#	36300		
Project Name	FM 740 IH 30 to SH 205			<i>AFA Not Used For Research &amp; Development</i>	

**NOW, THEREFORE**, in consideration of the premises and of the mutual covenants and agreements of the parties, to be by them respectively kept and performed as set forth in this Agreement, it is agreed as follows:

**AGREEMENT**

**1. Responsible Parties:**

For the Project covered by this Agreement, the parties shall be responsible for the following work as stated in the article of the Agreement referenced in the table below:

1	<b>State*</b>	Utilities	Article 8
2.	<b>State*</b>	Environmental Assessment and Mitigation	Article 9
3.	<b>Local Government*</b>	Architectural and Engineering Services	Article 11
4.	<b>Local Government</b>	Construction Responsibilities	Article 12
5.	<b>State*</b>	Right of Way and Real Property	Article 14

An asterisk next to the party responsible for specific work in the above table indicates that the associated specific work is not anticipated as part of the Project and is therefore not included in the budget; however, the party indicated will be responsible for that specific work if that work is not the subject of another agreement and the State determines that the specific work has become necessary to successful completion of the Project.

**2. Period of the Agreement**

This Agreement becomes effective when signed by the last party whose signing makes the Agreement fully executed. This Agreement shall remain in effect until the Project is completed or unless terminated as provided below.

**3. Scope of Work**

The scope of work for the Project consists of landscape and scenic enhancements to include trees, shrubs, ground cover and irrigation on FM740 from IH30 to SH 205 as shown on Attachment A.

**4. Project Sources and Uses of Funds**

The total estimated cost of the Project is shown in Attachment B, Project Budget (Attachment B) which is attached to and made a part of this Agreement.

A. If the Local Government will perform any work under this Agreement for which reimbursement will be provided by or through the State, the Local Government must complete training. If federal funds are being used, the training must be completed before federal spending authority is obligated. Training is complete when at least one individual who is working actively and directly on the Project successfully completes and receives a certificate for the course entitled "Local Government Project Procedures and Qualification for the Texas Department of Transportation" and retains qualification in accordance with applicable TxDOT procedures. Upon request, the Local Government shall provide the certificate of

<b>TxDOT:</b>				<b>Federal Highway Administration:</b>	
CCSJ #	1014-03-063	AFA ID	Z00011005	CFDA No.	20.205
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District #	18	Code Chart 64#	36300		
Project Name	FM 740 IH 30 to SH 205			<i>AFA Not Used For Research &amp; Development</i>	

qualification to the State. The individual who receives the training certificate may be an employee of the Local Government or an employee of a firm that has been contracted by the Local Government to perform oversight of the Project. The State in its discretion may deny reimbursement if the Local Government has not continuously designated in writing a qualified individual to work actively on or to directly oversee the Project.

- B. The expected cash contributions from the federal government, the State, the Local Government, or other parties are shown in Attachment B. The State will pay for only those Project costs that have been approved by the Texas Transportation Commission. For projects with federal funds, the State and the federal government will not reimburse the Local Government for any work performed before the federal spending authority is formally obligated to the Project by the Federal Highway Administration (FHWA). After federal funds have been obligated, the State will send to the Local Government a copy of the formal documentation showing the obligation of funds including federal award information. The Local Government is responsible for 100% of the cost of any work performed under its direction or control before the federal spending authority is formally obligated.
- C. Attachment B shows, by major cost categories, the cost estimates and the party responsible for performing the work for each category. These categories may include but are not limited to: (1) costs of real property; (2) costs of utility work; (3) costs of environmental assessment and remediation; (4) cost of preliminary engineering and design; (5) cost of construction and construction management; and (6) any other local project costs.
- D. The State will be responsible for securing the federal and State share of the funding required for the development and construction of the local Project. If the Local Government is due funds for expenses incurred, these funds will be reimbursed to the Local Government on a cost basis.
- E. The Local Government will be responsible for all non-federal or non-State participation costs associated with the Project, unless otherwise provided for in this Agreement or approved otherwise in an amendment to this Agreement. For items of work subject to specified percentage funding, the Local Government shall only in those instances be responsible for all Project costs that are greater than the maximum State and federal participation specified in Attachment B and for overruns in excess of the amount specified in Attachment B to be paid by the Local Government.
- F. The budget in Attachment B will clearly state all items subject to fixed price funding, specified percentage funding, and the periodic payment schedule, when periodic payments have been approved by the State.
- G. When the Local Government bears the responsibility for paying cost overruns, the Local Government shall make payment to the State within thirty (30) days from the receipt of the State's written notification of additional funds being due.
- H. When fixed price funding is used, the Local Government is responsible for the fixed price amount specified in Attachment B. Fixed prices are not subject to adjustment unless (1) differing site conditions are encountered; (2) further definition of the Local Government's requested scope of work identifies greatly differing costs from those estimated; (3) work requested by the Local

<b>TxDOT:</b>				<b>Federal Highway Administration:</b>	
<b>CCSJ #</b>	1014-03-063	<b>AFA ID</b>	Z00011005	<b>CFDA No.</b>	20.205
<b>AFA CSJs</b>	1014-03-063			<b>CFDA Title</b>	Highway Planning and Construction
<b>District #</b>	18	<b>Code Chart 64#</b>	36300		
<b>Project Name</b>	FM 740 IH 30 to SH 205			<i>AFA Not Used For Research &amp; Development</i>	

- Government is determined to be ineligible for federal participation; or (4) the adjustment is mutually agreed to by the State and the Local Government.
- I. Prior to the performance of any engineering review work by the State, the Local Government will pay to the State the amount specified in Attachment B. At a minimum, this amount shall equal the Local Government’s funding share for the estimated cost of preliminary engineering performed or reviewed by the State for the Project. At least sixty (60) days prior to the date set for receipt of the construction bids, the Local Government shall remit its remaining financial share for the State’s estimated construction oversight and construction cost.
  - J. The State will not execute the contract for the construction of the Project until the required funding has been made available by the Local Government in accordance with this Agreement.
  - K. Whenever funds are paid by the Local Government to the State under this Agreement, the Local Government shall remit a check or warrant made payable to the “Texas Department of Transportation” or may use the State’s Automated Clearing House (ACH) system for electronic transfer of funds in accordance with instructions provided by TxDOT’s Finance Division. The funds shall be deposited and managed by the State and may only be applied by the State to the Project.
  - L. The State will not pay interest on any funds provided by the Local Government.
  - M. If a waiver for the collection of indirect costs for a service project has been granted under 43 TAC §15.56, the State will not charge the Local Government for the indirect costs the State incurs on the Project, unless this Agreement is terminated at the request of the Local Government prior to completion of the Project.
  - N. If the Local Government is an Economically Disadvantaged County (EDC) and if the State has approved adjustments to the standard financing arrangement, this Agreement reflects those adjustments.
  - O. Where the Local Government is authorized to perform services under this Agreement and be reimbursed by the State, the Local Government is authorized to submit requests for reimbursement by submitting the original of an itemized invoice, in a form and containing all items required by the State, no more frequently than monthly and no later than ninety (90) days after costs are incurred. If the Local Government submits invoices more than ninety (90) days after the costs are incurred and if federal funding is reduced as a result, the State shall have no responsibility to reimburse the Local Government for those costs.
  - P. Upon completion of the Project, the State will perform a final accounting of the Project costs for all items of work with specified percentage funding. Any funds due by the Local Government, the State, or the federal government for these work items will be promptly paid by the owing party.
  - Q. The state auditor may conduct an audit or investigation of any entity receiving funds from the State directly under this Agreement or indirectly through a subcontract under this Agreement. Acceptance of funds directly under this Agreement or indirectly through a subcontract under this Agreement acts as acceptance of the authority of the state auditor, under the direction of the legislative audit committee, to conduct an audit or investigation in connection with those funds. An entity that is the subject of an audit or investigation must provide

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the state auditor with access to any information the state auditor considers relevant to the investigation or audit.

- R. Payment under this Agreement beyond the end of the current fiscal biennium is subject to availability of appropriated funds. If funds are not appropriated, this Agreement shall be terminated immediately with no liability to either party.

**5. Termination of This Agreement**

This Agreement shall remain in effect until the Project is completed and accepted by all parties, unless:

- A. The Agreement is terminated in writing with the mutual consent of the parties;
- B. The Agreement is terminated by one party because of a breach, in which case any costs incurred because of the breach shall be paid by the breaching party;
- C. The Local Government elects not to provide funding after the completion of preliminary engineering, specifications, and estimates (PS&E) and the Project does not proceed because of insufficient funds, in which case the Local Government agrees to reimburse the State for its reasonable actual costs incurred during the Project; or
- D. The Agreement is terminated by the State because the parties are not able to execute a mutually agreeable amendment when the costs for Local Government requested items increase significantly due to differing site conditions, determination that Local government requested work is ineligible for federal or state cost participation, or a more thorough definition of the Local Government’s proposed work scope identifies greatly differing costs from those estimated. The State will reimburse Local Government remaining funds to the Local Government within ninety (90) days of termination; or
- E. The Project is inactive for thirty-six (36) consecutive months or longer and no expenditures have been charged against federal funds, in which case the State may in its discretion terminate this Agreement.

**6. Amendments**

Amendments to this Agreement due to changes in the character of the work, terms of the Agreement, or responsibilities of the parties relating to the Project may be enacted through a mutually agreed upon, written amendment.

**7. Remedies**

This Agreement shall not be considered as specifying the exclusive remedy for any agreement default, but all remedies existing at law and in equity may be availed of by either party to this Agreement and shall be cumulative.

**8. Utilities**

The party named in Article 1, Responsible Parties, under AGREEMENT shall be responsible for the adjustment, removal, or relocation of utility facilities in accordance with applicable state laws, regulations, rules, policies, and procedures, including any cost to the State of a delay resulting from the Local Government’s failure to ensure that utility facilities are adjusted, removed, or relocated before the scheduled beginning of construction. The Local Government will not be reimbursed with federal or State funds for the cost of required utility work. The Local Government must obtain advance

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approval for any variance from established procedures. Before a construction contract is let, the Local Government shall provide, at the State’s request, a certification stating that the Local Government has completed the adjustment of all utilities that must be adjusted before construction is commenced.

**9. Environmental Assessment and Mitigation**

Development of a transportation project must comply with the National Environmental Policy Act and the National Historic Preservation Act of 1966, which require environmental clearance of federal-aid projects. The party named in Article 1, Responsible Parties, under AGREEMENT is responsible for the following:

- A. The identification and assessment of any environmental problems associated with the development of a local project governed by this Agreement.
- B. The cost of any environmental problem’s mitigation and remediation.
- C. Providing any public meetings or public hearings required for the environmental assessment process. Public hearings will not be held prior to the approval of the Project schematic.
- D. The preparation of the NEPA documents required for the environmental clearance of this Project.

If the Local Government is responsible for the environmental assessment and mitigation, before the advertisement for bids, the Local Government shall provide to the State written documentation from the appropriate regulatory agency or agencies that all environmental clearances have been obtained.

**10. Compliance with Accessibility Standards**

All parties to this Agreement shall ensure that the plans for and the construction of all projects subject to this Agreement are in compliance with standards issued or approved by the Texas Department of Licensing and Regulation (TDLR) as meeting or consistent with minimum accessibility requirements of the Americans with Disabilities Act (P.L. 101-336) (ADA).

**11. Architectural and Engineering Services**

The party named in Article 1, Responsible Parties, under AGREEMENT has responsibility for the performance of architectural and engineering services. The engineering plans shall be developed in accordance with the applicable State’s *Standard Specifications for Construction and Maintenance of Highways, Streets and Bridges* and the special specifications and special provisions related to it. For projects on the State highway system, the design shall, at a minimum conform to applicable State manuals. For projects not on the State highway system, the design shall, at a minimum, conform to applicable American Association of State Highway and Transportation Officials (AASHTO) design standards.

In procuring professional services, the parties to this Agreement must comply with federal requirements cited in 23 CFR Part 172 if the Project is federally funded and with Texas Government Code 2254, Subchapter A, in all cases. Professional contracts for federally funded projects must conform to federal requirements, specifically including the provision for participation by Disadvantaged Business Enterprises (DBEs), ADA, and

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environmental matters. If the Local Government is the responsible party, the Local Government shall submit its procurement selection process for prior approval by the State. All professional services contracts must be reviewed and approved by the State prior to execution by the Local Government.

**12. Construction Responsibilities**

The party named in Article 1, Responsible Parties, under AGREEMENT is responsible for the following:

- A. Advertise for construction bids, issue bid proposals, receive and tabulate the bids, and award and administer the contract for construction of the Project. Administration of the contract includes the responsibility for construction engineering and for issuance of any change orders, supplemental agreements, amendments, or additional work orders that may become necessary subsequent to the award of the construction contract. In order to ensure federal funding eligibility, projects must be authorized by the State prior to advertising for construction.
- B. If the State is the responsible party, the State will use its approved contract letting and award procedures to let and award the construction contract.
- C. If the Local Government is the responsible party, the Local Government shall submit its contract letting and award procedures to the State for review and approval prior to letting.
- D. If the Local Government is the responsible party, the State must concur with the low bidder selection before the Local Government can enter into a contract with the vendor.
- E. If the Local Government is the responsible party, the State must review and approve change orders.
- F. Upon completion of the Project, the party responsible for constructing the Project will issue and sign a "Notification of Completion" acknowledging the Project's construction completion and submit certification(s) sealed by a professional engineer(s) licensed in the State of Texas.
- G. For federally funded contracts, the parties to this Agreement will comply with federal construction requirements cited in 23 CFR Part 635 and with requirements cited in 23 CFR Part 633, and shall include the latest version of Form "FHWA-1273" in the contract bidding documents. If force account work will be performed, a finding of cost effectiveness shall be made in compliance with 23 CFR 635, Subpart B.

**13. Project Maintenance**

The Local Government shall be responsible for maintenance of locally owned roads and locally owned facilities after completion of the work. The State shall be responsible for maintenance of the State highway system after completion of the work if the work was on the State highway system, unless otherwise provided for in existing maintenance agreements with the Local Government.

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**14. Right of Way and Real Property**

The party named in Article 1, Responsible Parties, under AGREEMENT is responsible for the provision and acquisition of any needed right of way or real property.

**15. Insurance**

If this Agreement authorizes the Local Government or its contractor to perform any work on State right of way, before beginning work, the entity performing the work shall provide the State with a fully executed copy of the State's Form 1560 Certificate of Insurance verifying the existence of coverage in the amounts and types specified on the Certificate of Insurance for all persons and entities working on State right of way. This coverage shall be maintained until all work on the State right of way is complete. If coverage is not maintained, all work on State right of way shall cease immediately, and the State may recover damages and all costs of completing the work.

**16. Notices**

All notices to either party shall be delivered personally or sent by certified or U.S. mail, postage prepaid, addressed to that party at the following address:

<b>Local Government:</b>	<b>State:</b>
City of Rockwall ATTN: City Manager 385 S Goliad St. Rockwall, TX 75087	Texas Department of Transportation ATTN: Director of Contract Services 125 E. 11 <sup>th</sup> Street Austin, TX 78701

All notices shall be deemed given on the date delivered in person or deposited in the mail, unless otherwise provided by this Agreement. Either party may change the above address by sending written notice of the change to the other party. Either party may request in writing that notices shall be delivered personally or by certified U.S. mail, and that request shall be carried out by the other party.

**17. Legal Construction**

If one or more of the provisions contained in this Agreement shall for any reason be held invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect any other provisions and this Agreement shall be construed as if it did not contain the invalid, illegal, or unenforceable provision.

**18. Responsibilities of the Parties**

The State and the Local Government agree that neither party is an agent, servant, or employee of the other party, and each party agrees it is responsible for its individual acts and deeds as well as the acts and deeds of its contractors, employees, representatives, and agents.

**19. Ownership of Documents**

Upon completion or termination of this Agreement, all documents prepared by the State shall remain the property of the State. All data and information prepared under this

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Agreement shall be made available to the State without restriction or limitation on their further use. All documents produced or approved or otherwise created by the Local Government shall be transmitted to the State, in the format directed by the State, on a monthly basis or as required by the State. The originals shall remain the property of the Local Government.

**20. Compliance with Laws**

The parties to this Agreement shall comply with all federal, state, and local laws, statutes, ordinances, rules and regulations, and the orders and decrees of any courts or administrative bodies or tribunals in any manner affecting the performance of this Agreement. When required, the Local Government shall furnish the State with satisfactory proof of this compliance.

**21. Sole Agreement**

This Agreement constitutes the sole and only agreement between the parties and supersedes any prior understandings or written or oral agreements respecting the Agreement's subject matter.

**22. Cost Principles**

In order to be reimbursed with federal funds, the parties shall comply with the cost principles established in 2 CFR 200 that specify that all reimbursed costs are allowable, reasonable, and allocable to the Project.

**23. Procurement and Property Management Standards**

The parties to this Agreement shall adhere to the procurement and property management standards established in 2 CFR 200, Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards, and to the Texas Uniform Grant Management Standards. The State must pre-approve the Local Government's procurement procedures for purchases to be eligible for state or federal funds.

**24. Inspection of Books and Records**

The parties to this Agreement shall maintain all books, documents, papers, accounting records, and other documentation relating to costs incurred under this Agreement and shall make such materials available to the State, the Local Government, and, if federally funded, the FHWA and the U.S. Office of the Inspector General or their duly authorized representatives for review and inspection at its office during the Agreement period and for seven (7) years from the date of final reimbursement by FHWA under this Agreement or until any impending litigation or claims are resolved. Additionally, the State, the Local Government, and the FHWA and their duly authorized representatives shall have access to all the governmental records that are directly applicable to this Agreement for the purpose of making audits, examinations, excerpts, and transcriptions.

**25. Civil Rights Compliance**

The parties to this Agreement are responsible for the following:

- A. Compliance with Regulations: Both parties will comply with the Acts and the Regulations relative to Nondiscrimination in Federally-assisted programs of the

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U.S. Department of Transportation (USDOT), the Federal Highway Administration (FHWA), as they may be amended from time to time, which are herein incorporated by reference and made part of this Agreement.

- B. Nondiscrimination: The Local Government, with regard to the work performed by it during the Agreement, will not discriminate on the grounds of race, color, or national origin in the selection and retention of subcontractors, including procurement of materials and leases of equipment. The Local Government will not participate directly or indirectly in the discrimination prohibited by the Acts and the Regulations, including employment practices when the Agreement covers any activity, project, or program set forth in Appendix B of 49 CFR Part 21.
- C. Solicitations for Subcontracts, Including Procurement of Materials and Equipment: In all solicitations either by competitive bidding or negotiation made by the Local Government for work to be performed under a subcontract, including procurement of materials or leases of equipment, each potential subcontractor or supplier will be notified by the Local Government of the Local Government's obligations under this Agreement and the Acts and Regulations relative to Nondiscrimination on the grounds of race, color, or national origin.
- D. Information and Reports: The Local Government will provide all information and reports required by the Acts, the Regulations, and directives issued pursuant thereto, and will permit access to its books, records, accounts, other sources of information, and facilities as may be determined by the State or the FHWA to be pertinent to ascertain compliance with such Acts, Regulations or directives. Where any information required of the Local Government is in the exclusive possession of another who fails or refuses to furnish this information, the Local Government will so certify to the State or the FHWA, as appropriate, and will set forth what efforts it has made to obtain the information.
- E. Sanctions for Noncompliance: In the event of the Local Government's noncompliance with the Nondiscrimination provisions of this Agreement, the State will impose such contract sanctions as it or the FHWA may determine to be appropriate, including, but not limited to:
  1. withholding of payments to the Local Government under the Agreement until the Local Government complies and/or
  2. cancelling, terminating, or suspending of the Agreement, in whole or in part.
- F. Incorporation of Provisions: The Local Government will include the provisions of paragraphs (A) through (F) in every subcontract, including procurement of materials and leases of equipment, unless exempt by the Acts, the Regulations and directives issued pursuant thereto. The Local Government will take such action with respect to any subcontract or procurement as the State or the FHWA may direct as a means of enforcing such provisions including sanctions for noncompliance. Provided, that if the Local Government becomes involved in, or is threatened with, litigation with a subcontractor or supplier because of such direction, the Local Government may request the State to enter into such litigation to protect the interests of the State. In addition, the Local Government may request the United States to enter into such litigation to protect the interests of the United States.

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**26. Pertinent Non-Discrimination Authorities**

During the performance of this Agreement, each party, for itself, its assignees, and successors in interest agree to comply with the following nondiscrimination statutes and authorities; including but not limited to:

- A. Title VI of the Civil Rights Act of 1964 (42 U.S.C. § 2000d et seq., 78 stat. 252), (prohibits discrimination on the basis of race, color, national origin); and 49 CFR Part 21.
- B. The Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, (42 U.S.C. § 4601), (prohibits unfair treatment of persons displaced or whose property has been acquired because of federal or federal-aid programs and projects).
- C. Federal-Aid Highway Act of 1973, (23 U.S.C. § 324 et seq.), as amended, (prohibits discrimination on the basis of sex).
- D. Section 504 of the Rehabilitation Act of 1973, (29 U.S.C. § 794 et seq.) as amended, (prohibits discrimination on the basis of disability); and 49 CFR Part 27.
- E. The Age Discrimination Act of 1975, as amended, (42 U.S.C. § 6101 et seq.), (prohibits discrimination on the basis of age).
- F. Airport and Airway Improvement Act of 1982, (49 U.S.C. Chapter 471, Section 47123), as amended, (prohibits discrimination based on race, creed, color, national origin, or sex).
- G. The Civil Rights Restoration Act of 1987, (PL 100-209), (Broadened the scope, coverage and applicability of Title VI of the Civil Rights Act of 1964, The Age Discrimination Act of 1975 and Section 504 of the Rehabilitation Act of 1973, by expanding the definition of the terms “programs or activities” to include all of the programs or activities of the federal-aid recipients, subrecipients and contractors, whether such programs or activities are federally funded or not).
- H. Titles II and III of the Americans with Disabilities Act, which prohibits discrimination on the basis of disability in the operation of public entities, public and private transportation systems, places of public accommodation, and certain testing entities (42 U.S.C. §§ 12131-12189) as implemented by Department of Transportation regulations at 49 C.F.R. parts 37 and 38.
- I. The Federal Aviation Administration’s Nondiscrimination statute (49 U.S.C. § 47123) (prohibits discrimination on the basis of race, color, national origin, and sex).
- J. Executive Order 12898, Federal Actions to Address Environmental Justice in Minority Populations and Low-Income Populations, which ensures nondiscrimination against minority populations by discouraging programs, policies, and activities with disproportionately high and adverse human health or environmental effects on minority and low-income populations.
- K. Executive Order 13166, Improving Access to Services for Persons with Limited English Proficiency, and resulting agency guidance, national origin discrimination includes discrimination because of limited English proficiency (LEP). To ensure compliance with Title VI, the parties must take reasonable steps to ensure that LEP persons have meaningful access to the programs (70 Fed. Reg. at 74087 to 74100).

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- L. Title IX of the Education Amendments of 1972, as amended, which prohibits the parties from discriminating because of sex in education programs or activities (20 U.S.C. 1681 et seq.).

**27. Disadvantaged Business Enterprise (DBE) Program Requirements**

If federal funds are used:

- A. The parties shall comply with the Disadvantaged Business Enterprise Program requirements established in 49 CFR Part 26.
- B. **The Local Government shall adopt, in its totality, the State’s federally approved DBE program.**
- C. The Local Government shall incorporate into its contracts with subproviders an **appropriate DBE goal consistent with the State’s DBE guidelines and in consideration of the local market, project size, and nature of the goods or services to be acquired.** The Local Government shall submit its proposed scope of services and quantity estimates to the State to allow the State to establish a DBE goal for each Local Government contract with a subprovider. The Local Government shall be responsible for documenting its actions.
- D. **The Local Government shall follow all other parts of the State’s DBE program referenced in TxDOT Form 2395, Memorandum of Understanding Regarding the Adoption of the Texas Department of Transportation’s Federally-Approved Disadvantaged Business Enterprise by Entity, and attachments found at web address [http://ftp.dot.state.tx.us/pub/txdot-info/bop/dbe/mou/mou\\_attachments.pdf](http://ftp.dot.state.tx.us/pub/txdot-info/bop/dbe/mou/mou_attachments.pdf).**
- E. The Local Government shall not discriminate on the basis of race, color, national origin, or sex in the award and performance of any U.S. Department of Transportation (DOT)-assisted contract or in the administration of its DBE program or the requirements of 49 CFR Part 26. The Local Government shall take all necessary and reasonable steps under 49 CFR Part 26 to ensure non-discrimination in award and administration of DOT-assisted contracts. **The State’s DBE program, as required by 49 CFR Part 26 and as approved by DOT, is incorporated by reference in this Agreement.** Implementation of this program is a legal obligation and failure to carry out its terms shall be treated as a violation of this Agreement. Upon notification to the Local Government of its failure to carry out its approved program, the State may impose sanctions as provided for under 49 CFR Part 26 and may, in appropriate cases, refer the matter for enforcement under 18 U.S.C. 1001 and the Program Fraud Civil Remedies Act of 1986 (31 U.S.C. 3801 et seq.).
- F. Each contract the Local Government signs with a contractor (and each subcontract the prime contractor signs with a sub-contractor) must include the following assurance: *The contractor, sub-recipient, or sub-contractor shall not discriminate on the basis of race, color, national origin, or sex in the performance of this contract. The contractor shall carry out applicable requirements of 49 CFR Part 26 in the award and administration of DOT-assisted contracts. Failure by the contractor to carry out these requirements is a material breach of this Agreement, which may result in the termination of this Agreement or such other remedy as the recipient deems appropriate.*

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**28. Debarment Certifications**

If federal funds are used, the parties are prohibited from making any award at any tier to any party that is debarred or suspended or otherwise excluded from or ineligible for participation in Federal Assistance Programs under Executive Order 12549, “Debarment and Suspension.” By executing this Agreement, the Local Government certifies that it and its principals are not currently debarred, suspended, or otherwise excluded from or ineligible for participation in Federal Assistance Programs under Executive Order 12549 and further certifies that it will not do business with any party, to include principals, that is currently debarred, suspended, or otherwise excluded from or ineligible for participation in Federal Assistance Programs under Executive Order 12549. The parties to this Agreement shall require any party to a subcontract or purchase order awarded under this Agreement to certify its eligibility to receive federal funds and, when requested by the State, to furnish a copy of the certification.

If state funds are used, the parties are prohibited from making any award to any party that is debarred under the Texas Administrative Code, Title 34, Part 1, Chapter 20, Subchapter G, Rule §20.585 and the Texas Administrative Code, Title 43, Part 1, Chapter 9, Subchapter G.

**29. Lobbying Certification**

If federal funds are used, in executing this Agreement, each signatory certifies to the best of that signatory’s knowledge and belief, that:

- A. No federal appropriated funds have been paid or will be paid by or on behalf of the parties to any person for influencing or attempting to influence an officer or employee of any federal agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any federal contract, the making of any federal grant, the making of any federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any federal contract, grant, loan, or cooperative agreement.
- B. If any funds other than federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with federal contracts, grants, loans, or cooperative agreements, the signatory for the Local Government shall complete and submit the Federal Standard Form-LLL, “Disclosure Form to Report Lobbying,” in accordance with its instructions.
- C. The parties shall require that the language of this certification shall be included in the award documents for all sub-awards at all tiers (including subcontracts, subgrants, and contracts under grants, loans, and cooperative agreements) and all sub-recipients shall certify and disclose accordingly. Submission of this certification is a prerequisite for making or entering into this transaction imposed by Title 31 U.S.C. §1352. Any person who fails to file the required certification shall be subject to a civil penalty of not less than \$10,000 and not more than \$100,000 for each such failure.

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**30. Federal Funding Accountability and Transparency Act Requirements**

If federal funds are used, the following requirements apply:

- A. Any recipient of funds under this Agreement agrees to comply with the Federal Funding Accountability and Transparency Act (FFATA) and implementing regulations at 2 CFR Part 170, including Appendix A. This Agreement is subject to the following award terms: <http://www.gpo.gov/fdsys/pkg/FR-2010-09-14/pdf/2010-22705.pdf> and <http://www.gpo.gov/fdsys/pkg/FR-2010-09-14/pdf/2010-22706.pdf>.
- B. The Local Government agrees that it shall:
  - 1. Obtain and provide to the State a System for Award Management (SAM) number (Federal Acquisition Regulation, Part 4, Sub-part 4.11) if this award provides more than \$25,000 in federal funding. The SAM number may be obtained by visiting the SAM website whose address is: <https://www.sam.gov/portal/public/SAM/>
  - 2. Obtain and provide to the State a Data Universal Numbering System (DUNS) number, a unique nine-character number that allows federal government to track the distribution of federal money. The DUNS may be requested free of charge for all businesses and entities required to do so by visiting the Dun & Bradstreet (D&B) on-line registration website <http://fedgov.dnb.com/webform;> and
  - 3. Report the total compensation and names of its top five executives to the State if:
    - i. More than 80% of annual gross revenues are from the federal government, and those revenues are greater than \$25,000,000; and
    - ii. The compensation information is not already available through reporting to the U.S. Securities and Exchange Commission.

**31. Single Audit Report**

If federal funds are used:

- A. The parties shall comply with the single audit report requirements stipulated in 2 CFR 200, Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards.
- B. If threshold expenditures of \$750,000 or more are met during the fiscal year, the Local Government must submit a Single Audit Report and Management Letter (if applicable) to TxDOT's Compliance Division, 125 East 11th Street, Austin, TX 78701 or contact TxDOT's Compliance Division by email at [singleaudits@txdot.gov](mailto:singleaudits@txdot.gov).
- C. If expenditures are less than the threshold during the Local Government's fiscal year, the Local Government must submit a statement to TxDOT's Compliance Division as follows: "We did not meet the \$\_\_\_\_\_ expenditure threshold and therefore, are not required to have a single audit performed for FY \_\_\_\_\_."
- D. For each year the Project remains open for federal funding expenditures, the Local Government will be responsible for filing a report or statement as described above. The required annual filing shall extend throughout the life of the Agreement, unless otherwise amended or the Project has been formally closed out and no charges have been incurred within the current fiscal year.

<b>TxDOT:</b>				<b>Federal Highway Administration:</b>	
<b>CCSJ #</b>	1014-03-063	<b>AFA ID</b>	Z00011005	<b>CFDA No.</b>	20.205
<b>AFA CSJs</b>	1014-03-063			<b>CFDA Title</b>	Highway Planning and Construction
<b>District #</b>	18	<b>Code Chart 64#</b>	36300		
<b>Project Name</b>	FM 740 IH 30 to SH 205			<i>AFA Not Used For Research &amp; Development</i>	

**32. Signatory Warranty**

Each signatory warrants that the signatory has necessary authority to execute this Agreement on behalf of the entity represented.

Each party is signing this Agreement on the date stated under that party's signature.

**THE STATE OF TEXAS**

**THE LOCAL GOVERNMENT**

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Typed or Printed Name

\_\_\_\_\_  
Typed or Printed Title

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature

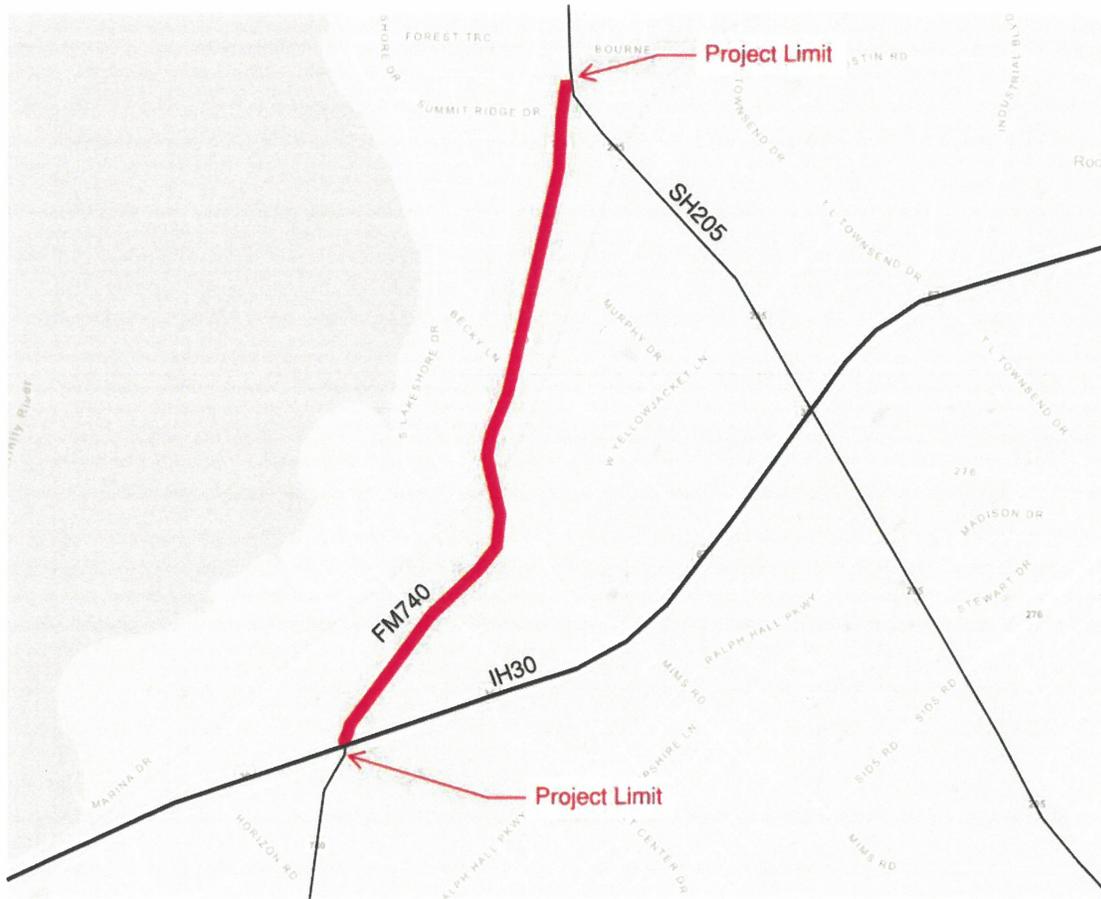
\_\_\_\_\_  
Typed or Printed Name

\_\_\_\_\_  
Typed or Printed Title

\_\_\_\_\_  
Date

<b>TxDOT:</b>				<b>Federal Highway Administration:</b>	
CCSJ #	1014-03-063	AFA ID	Z00011005	CFDA No.	20.205
AFA CSJs	1014-03-063			CFDA Title	Highway Planning and Construction
District #	18	Code Chart 64#	36300		
Project Name	FM 740 IH 30 to SH 205			<i>AFA Not Used For Research &amp; Development</i>	

### ATTACHMENT A LOCATION MAP SHOWING PROJECT



**City of Rockwall, Texas**

**Project Limits:  
On FM 740 from IH30 to SH205**

<b>TxDOT:</b>				<b>Federal Highway Administration:</b>	
CCSJ #	1014-03-063	AFA ID	Z00011005	CFDA No.	20.205
AFA CSJs	1014-03-063			CFDA Title	Highway Planning and Construction
District #	18	Code Chart 64#	36300		
Project Name	FM 740 IH 30 to SH 205			<i>AFA Not Used For Research &amp; Development</i>	

### ATTACHMENT B PROJECT BUDGET

Construction costs will be allocated based on 80% Federal funding and 20% State funding until the Federal funding reaches the maximum obligated amount. The Local Government will then be responsible for 100% of the project cost overruns.

Description	Total Estimated Cost	Federal Participation		State Participation		Local Participation	
		%	Cost	%	Cost	%	Cost
Construction (by Local Government)	\$1,772,766.00	80%	\$1,418,212.80	20%	\$354,553.20	0%	\$0
Subtotal	\$1,772,766.00		\$1,418,212.80		\$354,553.20		\$0
Environmental Direct State Costs	\$22,159.57	0%	\$0	100%	\$22,159.57	0%	\$0
Engineering Direct State Costs	\$22,159.57	0%	\$0	100%	\$22,159.57	0%	\$0
Right of Way Direct State Costs	\$22,159.57	0%	\$0	100%	\$22,159.57	0%	\$0
Utility Direct State Costs	\$22,159.57	0%	\$0	100%	\$22,159.57	0%	\$0
Construction Direct State Costs	\$88,638.30	0%	\$0	100%	\$88,638.30	0%	\$0
Subtotal	\$177,276.60		\$0		\$177,276.60		\$0
Indirect State Costs (5.29%)	\$93,779.32	0%	\$0	100%	\$93,779.32	0%	\$0
<b>TOTAL</b>	<b>\$2,043,821.92</b>		<b>\$1,418,212.80</b>		<b>\$625,609.12</b>		<b>\$0</b>

Initial payment by the Local Government to the State: \$0.  
 Payment by the Local Government to the State before construction: \$0.  
 Estimated total payment by the Local Government to the State \$0.

This is an estimate. The final amount of Local Government participation will be based on actual costs.



City of Rockwall  
*The New Horizon*

## MEMORANDUM

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**TO:** City Council

**FROM:** Joey Boyd, Assistant City Manager

**DATE:** January 13, 2026

**SUBJECT:** Renaming of a portion of E. Quail Run Road

---

The new Quail Hollow Phase II subdivision currently under construction has provided a new alignment of E. Quail Run Road through the development and provides a continuous connection between the western and eastern segments of the road on both sides of John King Blvd. The two existing segments of E. Quail Run are separated by approximately one-quarter of a mile from one another. Please see attached exhibit. The name change will only effect three property owners, one of which has a residential home while the other two are currently undeveloped.

The Naming Subcommittee (Mayor McCallum, Mayor Pro Tem Moeller, and Council Member Thomas) has discussed this matter and recommend renaming this portion of the old alignment to Hance Trail. The Hance family made their residence on the land that is now the subdivision for many decades and gave E. Quail Run Road its original name due to an abundance of quail that inhabited the area when they moved there.

A resolution formally renaming this section of street is attached for review and consideration by the City Council.

**CITY OF ROCKWALL, TEXAS**  
**RESOLUTION NO. 26-01**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, NAMING A CERTAIN ROADWAY WITHIN THE CITY OF ROCKWALL, TEXAS; PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the western portion of E. Quail Run Road is separated from the eastern section by approximately one-quarter of a mile; and

**WHEREAS**, the new Quail Hollow Phase II development now provides a new alignment of E. Quail Run Road through the subdivision and is now a continuous connection between the western and eastern sections, requiring a portion of the old alignment to now be renamed; and

**WHEREAS**, with the renaming, the City Council wishes to recognize the Hance Family who resided on this land and originally named the roadway; and

**WHEREAS**, the Rockwall City Council believes said naming to be in the best interest of the public.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That the 500 Block of East Quail Run Road, specifically 501-599 shall hereafter be designated as Hance Trail, a map of which is attached hereto and incorporated for all intents and purposes as “**Exhibit A;**”

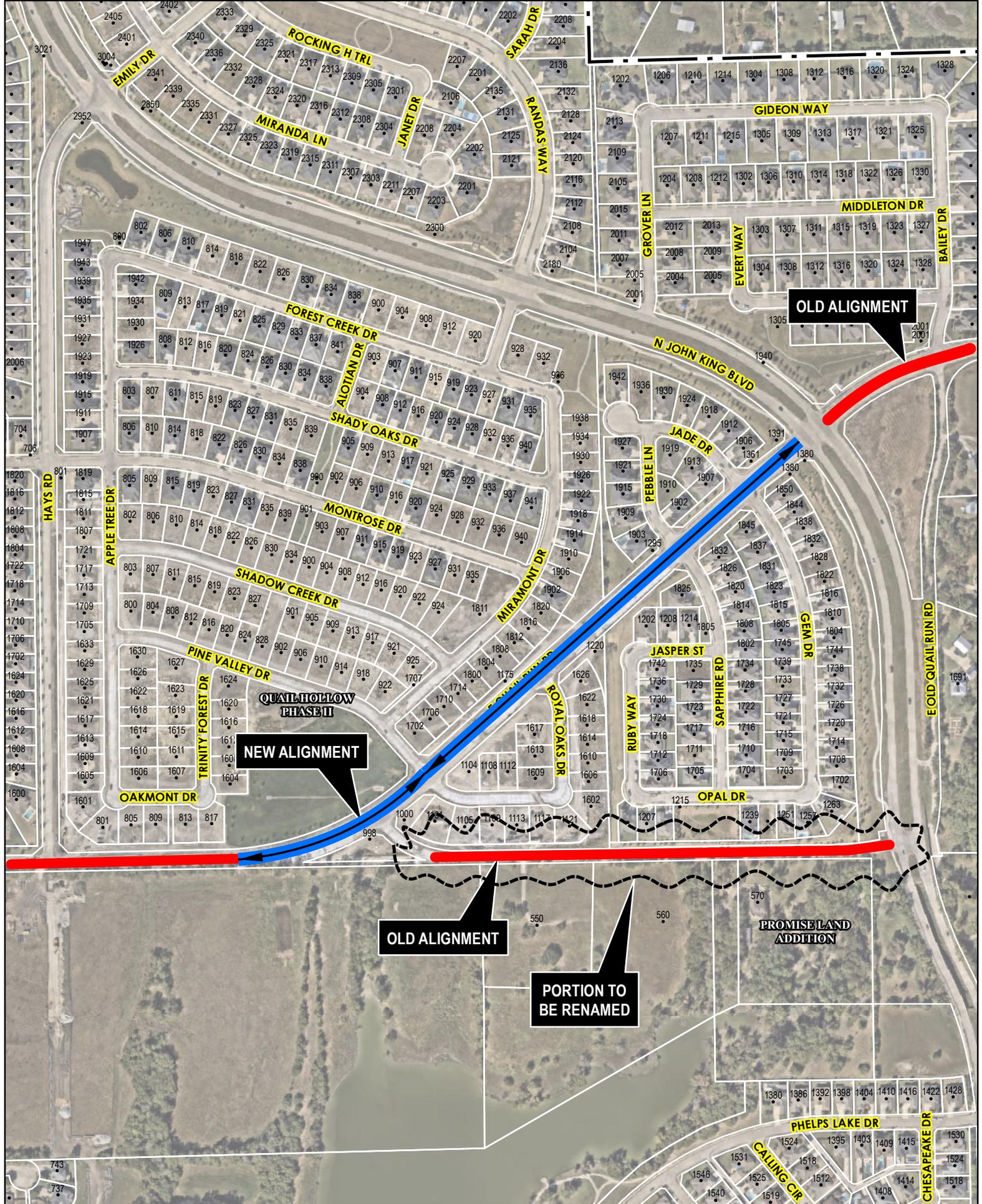
**Section 2.** That this resolution shall take effect immediately from and after its adoption, and it is so resolved.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS THIS 20<sup>th</sup> DAY OF JANUARY, 2026.**

\_\_\_\_\_  
**Tim McCallum, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Kristy Teague, City Secretary**





**CITY OF ROCKWALL**  
CITY COUNCIL MEMORANDUM

**PLANNING AND ZONING DEPARTMENT**  
385 S. GOLIAD STREET • ROCKWALL, TX 75087  
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** January 20, 2026  
**APPLICANT:** Shawn Valk; *Valk Properties VII, LLC*  
**CASE NUMBER:** P2025-040; *Final Plat for Lot 1, Block A, Valk 276 Addition*

---

**SUMMARY**

Consider a request by Shawn Valk of Valk Properties VII, LLC for the approval of a Final Plat for Lot 1, Block A, Valk Addition being a 14.7772-acre tract of land identified as Tracts 8 & 8-1 of the J. H. Bailey Survey, Abstract No. 34, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 4649 SH-276, and take any action necessary.

**PLAT INFORMATION**

- Purpose. The applicant is requesting the approval of a Final Plat for a 14.7772-acre tract of land [*i.e. Tracts 8 & 8-1 of the J. H. Bailey Survey, Abstract No. 34*] for the purpose of dedicating the easements required to develop the subject property [*i.e. Lot 1, Block A, Valk 276 Addition*] with a *Mini-Warehouse and Office/Warehouse Facility*.
- Background. The subject property was annexed on December 22, 2008 by *Ordinance No. 08-65 [Case No. A2008-003]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On June 6, 2022, the City Council approved to rezone [*Case No. Z2022-020*] the subject property from Agricultural (AG) District to Light Industrial (LI) District. On July 26, 2022, the Planning and Zoning Commission approved a site plan [*Case No. SP2022-038*] to allow the construction of a *Mini-Warehouse and Office/Warehouse Facility*.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below. With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

**CONDITIONS OF APPROVAL**

If the City Council chooses to approve the Final Plat for *Lot 1, Block A, Valk 276 Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**PLANNING AND ZONING COMMISSION**

On January 13, 2026, the Planning and Zoning Commission approved a motion to recommend approval of the final plat by a vote of 5-0, with Commissioner Roth absent and one (1) vacancy.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 4649 State Highway 276

SUBDIVISION Valk 276 Addition LOT 1 BLOCK A

GENERAL LOCATION located off of 276

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING \_\_\_\_\_ CURRENT USE \_\_\_\_\_

PROPOSED ZONING \_\_\_\_\_ PROPOSED USE \_\_\_\_\_

ACREAGE \_\_\_\_\_ LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Valk Properties VII, LLC</u>	<input checked="" type="checkbox"/> APPLICANT	<u>Valk Properties VII, LLC</u>
CONTACT PERSON	<u>Shawn Valk</u>	CONTACT PERSON	<u>Shawn Valk</u>
ADDRESS	<u>1450 TL Townsend Dr. Ste 100</u>	ADDRESS	<u>1450 TL Townsend Dr. Ste 100</u>
CITY, STATE & ZIP	<u>Rockwall, Tx 75082</u>	CITY, STATE & ZIP	<u>Rockwall Tx 75082</u>
PHONE	_____	PHONE	_____
E-MAIL	_____	E-MAIL	<u>annalys@plattfwmtx.com</u>

## NOTARY VERIFICATION [REQUIRED]

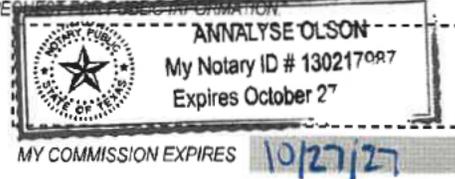
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shawn Valk [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 595.54 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 23rd DAY OF October, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 23 DAY OF October, 2025.

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



0 185 370 740 1,110 1,480 Feet

P2025-040: Final Plat for Lot 1, Block A, Valk Addition 276



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

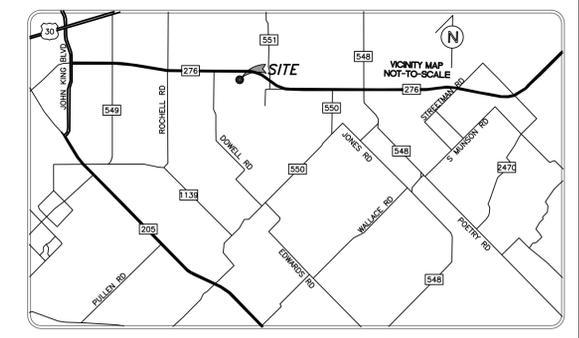
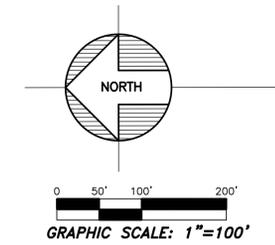
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**CITY BENCHMARKS**

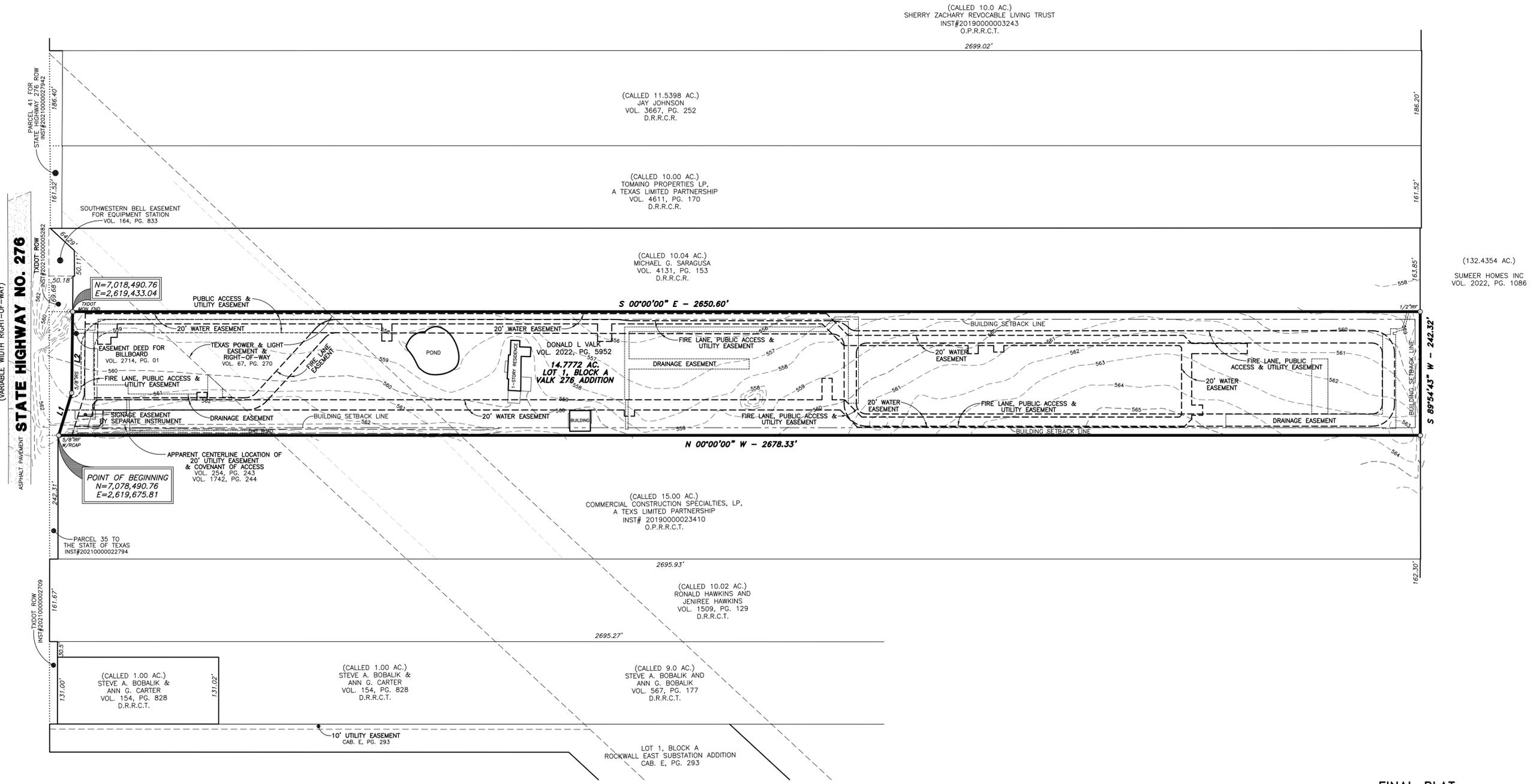
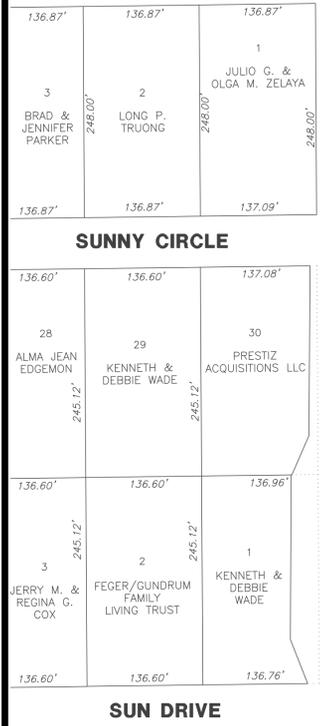
**COR-20:** BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" AT THE SOUTHEAST CORNER OF THE INTERSECTION OF SH 276 AND FM 551 AT THE NORTH END OF A CONCRETE HEADWALL.  
N=7,017,666.982, E=2,622,436.195

**COR-8:** ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" AT THE NORTHERLY INTERSECTION OF SILVER VIEW LN. AND DIAMOND WAY DR. ±1' NORTH OF CURB LINE IN CENTER OF CURVE.  
N=7,018,063.113, E=2,609,533.682



~ LINE TABLE ~

NO.	BEARING	DISTANCE
L1	S 72°55'54" E	86.96'
L2	S 89°20'24" E	159.20'



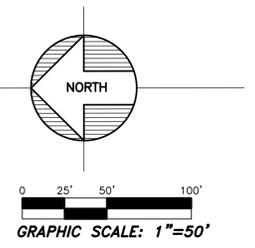
SEE SHEET 2 & 3 FOR PROPOSED EASEMENT ANNOTATIONS

**BLUE SKY**  
SURVEYING & MAPPING CORPORATION  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
PHONE: (214) 358-4500  
FAX: (214) 358-4600  
DRP@BLUESKYSURVEYING.COM  
TBPLS REGISTRATION NO. 10105700

**OWNER**  
DONALD L. VALK  
1450 TL TOWNSEND  
SUITE 100  
ROCKWALL, TX 75082  
MOBILE: (469) 222-1597  
FAX: (469) 718-0451

**FINAL PLAT**  
**LOT 1, BLOCK A**  
**VALK 276 ADDITION**  
14.7772 ACRES  
J.H. BAILEY SURVEY, ABSTRACT NOS. 34 & 44  
THE CITY OF ROCKWALL, ROCKWALL COUNTY  
NOVEMBER 13, 2023

STATE HIGHWAY NO. 276



14.7772 AC.  
LOT 1, BLOCK A  
VALK 276 ADDITION

14.7772 AC.  
LOT 1, BLOCK A  
VALK 276 ADDITION

PROPOSED WATER, SIGN, & FIRE LANE EASEMENT ANNOTATIONS

**CITY BENCHMARKS**  
**CDR-20:** BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" AT THE SOUTHEAST CORNER OF THE INTERSECTION OF SH 276 AND FM 551 AT THE NORTH END OF A CONCRETE HEADWALL.  
 N=7,017,666.982, E=2,622,436.195  
**CDR-8:** ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" AT THE NORTHERLY INTERSECTION OF SILVER VIEW LN. AND DIAMOND WAY DR. ±1' NORTH OF CURB LINE IN CENTER OF CURVE.  
 N=7,018,063.113, E=2,609,533.682

~ LINE TABLE ~

NO.	BEARING	DISTANCE
S1	S00°00'22"W	17.04'
S2	S00°00'00"E	40.00'
S3	N90°00'00"W	18.00'
S4	N00°00'00"E	40.00'
S5	N90°00'00"E	18.00'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
A1	N72°55'54"W	9.90'			
A2	S00°00'00"W	1.55'			
A3	N90°00'00"E	77.34'			
A4	S00°00'00"E	445.78'			
A5	N47°14'16"W	10.93'			
A6	N00°00'00"E	397.24'			
A7	N90°00'00"W	120.57'			
A8	N00°00'00"W	54.92'			
A9	S72°55'54"E	25.11'			

~ LINE TABLE ~

NO.	BEARING	DISTANCE
F1	N90°00'00"E	24.00'
F2	S00°00'00"E	296.37'
F3	S47°14'16"E	171.25'
F4	S00°00'00"W	549.37'
F5	S07°07'30"W	7.70'
F6	S00°00'00"W	392.67'
F7	S00°00'00"E	1015.34'
F8	N90°00'00"W	99.00'
F9	N00°00'00"E	994.67'
F10	N90°00'00"E	113.59'
F11	N00°08'48"E	975.93'
F12	N47°14'16"W	188.52'
F13	N00°00'00"E	298.22'
F14	S00°00'00"E	994.67'
F15	N90°00'00"W	99.00'
F16	N00°00'00"E	994.67'
F17	N90°00'00"E	99.00'

~ CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
FC1	30.00'	47°14'16"	24.73'	S23°37'08"E	24.04'
FC2	56.00'	47°14'16"	46.17'	N03°33'45"E	44.87'
FC3	100.00'	7°07'30"	12.44'	N03°33'45"E	12.43'
FC4	100.00'	7°07'30"	12.44'	S03°33'45"E	12.43'
FC5	48.00'	44°36'53"	37.38'	N22°18'26"E	36.44'
FC6	20.00'	44°36'53"	15.57'	S22°18'26"W	15.18'
FC7	44.00'	90°00'00"	69.12'	N45°00'00"E	62.23'
FC8	44.00'	90°00'00"	69.12'	S45°00'00"E	62.23'
FC9	44.00'	90°00'00"	69.12'	S45°00'00"E	62.23'
FC10	23.00'	90°00'00"	36.13'	N45°00'00"E	32.53'
FC11	29.83'	47°31'53"	24.74'	N23°37'08"E	24.04'
FC12	56.00'	47°14'16"	46.17'	S23°37'08"E	44.87'
FC13	20.00'	90°00'00"	31.42'	N45°00'00"E	28.28'
FC14	20.00'	90°00'00"	31.42'	S45°00'00"E	28.28'
FC15	20.00'	90°00'00"	31.42'	S45°00'00"E	28.28'
FC16	20.00'	90°00'00"	31.42'	N45°00'00"E	28.28'

~ LINE TABLE ~

NO.	BEARING	DISTANCE
W1	N89°30'42"W	4.00'
W2	S00°00'00"E	1457.89'
W3	S45°00'00"W	59.97'
W4	S00°00'00"W	660.07'
W5	S45°07'41"W	22.48'
W6	S00°00'00"E	109.40'
W7	N00°00'00"E	109.40'
W8	N90°00'00"W	100.57'
W9	N00°00'00"E	21.50'
W10	S00°00'00"E	21.50'
W11	N90°00'00"W	20.00'
W12	N00°00'00"E	21.50'
W13	N90°00'00"W	7.68'
W14	N45°00'00"W	22.43'
W15	N00°00'00"E	641.47'
W16	N45°00'00"E	47.79'
W17	N00°00'00"W	404.88'
W18	S90°00'00"W	12.00'
W19	N00°00'00"W	20.00'
W20	N90°00'00"E	12.00'
W21	N00°00'00"W	1025.48'
W22	N90°00'00"W	23.63'
W23	N45°00'00"W	11.83'
W24	N00°00'00"E	47.12'
W25	S72°55'54"E	20.92'
W26	S00°00'00"E	29.35'
W27	N90°00'00"E	22.76'
W28	S45°00'00"E	13.08'
W29	S00°00'00"E	195.69'
W30	N90°00'00"E	14.50'
W31	S00°00'00"E	20.00'
W32	S90°00'00"W	14.50'
W33	S00°00'00"E	1209.38'
W34	N90°00'00"E	42.09'
W35	S00°00'00"E	20.00'
W36	N90°00'00"W	42.09'
W37	S00°00'00"E	24.33'
W38	S45°00'00"W	47.79'
W39	S00°00'00"E	624.90'
W40	S45°00'00"E	5.86'
W41	N90°00'00"E	131.75'
W42	N45°00'00"E	5.86'
W43	N00°00'00"E	345.36'
W44	S90°00'00"W	12.75'
W45	N00°00'00"E	20.00'
W46	N90°00'00"E	12.75'
W47	N00°00'00"E	30.43'
W48	N90°00'00"W	15.93'
W49	N00°00'00"E	20.00'
W50	N90°00'00"E	15.93'
W51	N00°00'00"E	244.28'
W52	N45°00'00"E	59.97'
W53	N00°00'00"W	414.13'
W54	N90°00'00"W	34.22'
W55	N00°00'00"E	27.93'
W56	N90°00'00"E	34.22'
W57	N00°00'00"W	404.38'
W58	N90°00'00"W	33.54'
W59	N00°00'00"E	20.00'
W60	N90°00'00"E	33.54'
W61	N00°00'00"W	520.31'
W62	N90°00'00"E	26.31'
W63	N00°00'00"E	12.54'
W64	N90°00'00"W	13.48'
W65	N00°00'00"W	26.00'
W66	N90°00'00"E	39.80'
W67	N00°00'00"W	24.55'
W68	S89°20'23"E	20.00'

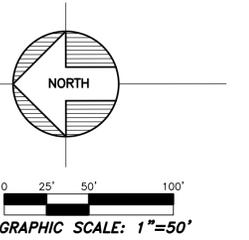
**BLUE SKY**  
 SURVEYING & MAPPING, CORPORATION  
 11015 MIDWAY ROAD  
 DALLAS, TEXAS 75229  
 PHONE: (214) 358-4500  
 FAX: (214) 358-4600  
 DRP@BLUESKYSURVEYING.COM  
 TBP.LS REGISTRATION No. 10105700

**OWNER**  
 DONALD L VALK  
 1450 TL TOWNSEND  
 SUITE 100  
 ROCKWALL, TX 75032  
 MOBILE: (469) 222-1597  
 FAX: (469) 718-0451

**FINAL PLAT**  
**LOT 1, BLOCK A**  
**VALK 276 ADDITION**  
 14.7772 ACRES  
 J.H. BAILEY SURVEY, ABSTRACT NOS. 34 & 44  
 THE CITY OF ROCKWALL, ROCKWALL COUNTY  
 NOVEMBER 13, 2023

STATE HIGHWAY NO. 276

14.7772 AC.  
LOT 1, BLOCK A  
VALK 276 ADDITION



NO.	BEARING	DISTANCE
D1	N89°20'24"W	17.17'
D2	S62°00'00"W	19.99'
D3	S00°00'00"W	15.63'
D4	N90°00'00"W	1.50'
D5	S00°00'00"E	19.23'
D6	N90°00'00"E	12.00'
D7	S00°00'00"E	116.00'
D8	N90°00'00"W	17.00'
D9	N90°00'00"E	118.73'
D10	N90°00'00"W	102.00'
D11	S00°00'00"E	68.00'
D12	N90°00'00"W	18.00'
D13	S00°00'00"E	135.00'
D14	N90°00'00"W	6.00'
D15	S00°00'00"E	21.47'
D16	N90°00'00"E	44.25'
D17	S42°45'44"W	39.50'
D18	N90°00'00"W	17.43'
D19	S00°00'00"E	18.53'
D20	N90°00'00"W	5.00'
D21	N00°00'00"E	201.95'
D22	S88°56'12"W	23.76'
D23	S00°00'00"E	0.51'
D24	N90°00'00"W	36.74'
D25	S00°00'00"E	270.15'
D26	N90°00'00"W	6.00'
D27	N00°00'00"E	373.65'
D28	N90°00'00"E	14.17'
D29	S00°00'00"E	50.89'
D30	N90°00'00"E	27.18'
D31	S00°00'00"E	46.61'
D32	N90°00'00"E	1.40'
D33	S00°00'00"E	0.49'
D34	N88°56'15"E	23.76'
D35	N00°00'00"E	82.05'
D36	N90°00'00"E	129.50'
D37	N00°00'00"E	13.50'
D38	N90°00'00"E	1.00'
D39	N00°00'00"E	4.70'
D40	N62°00'00"E	13.75'
D41	S89°20'24"E	12.51'
D42	N00°00'00"W	1079.03'
D43	N90°00'00"W	10.42'
D44	S90°00'00"W	168.84'
D45	N00°00'00"W	20.00'
D46	N90°00'00"E	159.84'
D47	N00°00'00"W	22.48'
D48	N45°00'00"W	27.63'
D49	N00°00'00"W	389.06'
D50	S90°00'00"W	53.53'
D51	S00°00'00"E	236.00'
D52	S90°00'00"W	20.00'
D53	N00°00'00"W	236.00'
D54	S90°00'00"W	59.66'
D55	N00°00'00"W	2.00'
D56	S90°00'00"W	58.00'
D57	N00°00'00"E	5.00'
D58	N90°00'00"E	58.00'
D59	N00°00'00"W	2.00'
D60	N90°00'00"E	142.19'
D61	S00°00'00"E	594.33'
D62	S45°00'00"E	27.63'
D63	S00°00'00"E	46.21'
D64	N00°00'00"W	21.66'
D65	N74°59'45"W	35.78'
D66	N14°59'50"W	16.03'
D67	N90°00'00"W	1.70'
D68	N00°00'00"E	6.76'
D69	N90°00'00"W	4.20'
D70	S00°00'00"E	5.00'
D71	N90°00'00"W	128.09'
D72	S00°00'00"E	0.50'
D73	N90°00'00"W	56.00'
D74	N00°00'00"E	26.50'
D75	N90°00'00"E	1.45'
D76	N00°00'00"E	308.25'
D77	N90°00'00"E	26.50'
D78	S00°00'00"E	168.93'
D79	N90°00'00"E	108.25'
D80	S00°00'00"E	32.00'
D81	N90°00'00"W	108.25'
D82	S00°00'00"E	107.32'
D83	S90°00'00"E	28.05'
D84	S00°00'00"E	0.50'
D85	S90°00'00"E	128.09'
D86	S00°00'00"W	15.26'
D87	N89°59'59"E	11.20'
D88	S00°00'00"W	12.00'
D89	N90°00'00"W	1.16'
D90	S14°59'50"E	12.65'
D91	S74°59'45"E	32.40'
D92	S00°00'00"E	4.14'

14.7772 AC.  
LOT 1, BLOCK A  
VALK 276 ADDITION

PROPOSED DRAINAGE EASEMENT ANNOTATIONS

CITY BENCHMARKS

**COR-20:** BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" AT THE SOUTHEAST CORNER OF THE INTERSECTION OF SH 276 AND FM 551 AT THE NORTH END OF A CONCRETE HEADWALL.  
N=7,017,666.982, E=2,622,436.195

**COR-8:** ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" AT THE NORTHERLY INTERSECTION OF SILVER VIEW LN. AND DIAMOND WAY DR. ±1' NORTH OF CURB LINE IN CENTER OF CURVE.  
N=7,018,063.113, E=2,609,533.682

OWNER

DONALD L VALK  
1450 TL TOWNSEND  
SUITE 100  
ROCKWALL, TX 75032  
MOBILE: (469) 222-1597  
FAX: (469) 718-0451

FINAL PLAT  
LOT 1, BLOCK A  
VALK 276 ADDITION

14.7772 ACRES  
J.H. BAILEY SURVEY, ABSTRACT NOS. 34 & 44  
THE CITY OF ROCKWALL, ROCKWALL COUNTY

NOVEMBER 13, 2023



**OWNER'S CERTIFICATE**

STATE OF TEXAS  
COUNTY OF ROCKWALL

DONALD L VALK IS THE OWNER OF ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE J.H. BAILEY SURVEY, ABSTRACT NOS. 34 & 44, THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING A PART OF A 15.00 ACRE TRACT OF LAND AS DESCRIBED IN DEED TO GEORGE R. HEARD AND MITZI HEARD, AS RECORDED IN VOLUME 1202, PAGE 50 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** AT A 5/8" IRON ROD WITH RED CAP FOUND IN THE SOUTH RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 276, SAID POINT BEING IN THE WEST LINE OF SAID 15.00 ACRE GEORGE R. HEARD TRACT AND THE EAST LINE OF A 15.00 ACRE TRACT OF LAND AS DESCRIBED IN DEED TO COMMERCIAL CONSTRUCTION SPECIALTIES, LP, A TEXAS LIMITED PARTNERSHIP, AND RECORDED IN INSTRUMENT NUMBER 2019000023410 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS, SAID POINT BEING SOUTH AT A DISTANCE OF 16.28 FEET FROM THE NORTHEAST CORNER OF SAID 15.00 ACRE COMMERCIAL CONSTRUCTION SPECIALTIES, LP TRACT;

**THENCE** SOUTH 72° 55' 54" EAST AND FOLLOWING ALONG THE SOUTH RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 276 FOR A DISTANCE OF 86.96 FEET TO A 5/8" IRON ROD SET FOR CORNER;

**THENCE** SOUTH 89° 20' 24" EAST AND FOLLOWING ALONG THE SOUTH RIGHT-OF-WAY LINE OF STATE HIGHWAY NO. 276 FOR A DISTANCE OF 159.20 FEET TO A TXDOT MONUMENT FOUND FOR CORNER IN THE EAST LINE OF AFORESAID 15.00 ACRE GEORGE R. HEARD TRACT AND THE WEST LINE OF A 10.04 ACRE TRACT OF LAND CONVEYED TO MICHAEL G. SARAGUSA AS RECORDED IN VOLUME 4131, PAGE 153 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS;

**THENCE** SOUTH 00° 00' 00" EAST AND DEPARTING THE SOUTH RIGHT-OF-WAY LINE OF SAID STATE HIGHWAY NO. 276 AND FOLLOWING THE EAST LINE OF SAID 15.00 ACRE GEORGE R. HEARD TRACT, COMMON WITH THE WEST LINE OF SAID 10.04 ACRE MICHAEL G. SARAGUSA TRACT FOR A DISTANCE OF 2550.60 FEET TO A 1/2" IRON ROD FOUND FOR THE SOUTHEAST CORNER OF SAID 15.00 ACRE GEORGE R. HEARD TRACT AND THE SOUTHWEST CORNER OF SAID 10.04 ACRE MICHAEL G. SARAGUSA TRACT;

**THENCE** SOUTH 89° 54' 43" WEST AND FOLLOWING ALONG THE SOUTH LINE OF SAID 15.00 ACRE GEORGE R. HEARD TRACT FOR A DISTANCE OF 242.32 FEET TO A POINT FOR CORNER, FROM WHICH 1/2" IRON ROD FOUND BEARS NORTH 62° 32' 19" WEST AT A DISTANCE OF 0.76 FEET, SAID POINT BEING THE SOUTHEAST CORNER OF SAID 15.00 ACRE GEORGE R. HEARD TRACT AND THE SOUTHEAST CORNER OF AFORESAID 15.00 ACRE COMMERCIAL CONSTRUCTION SPECIALTIES, LP TRACT;

**THENCE** NORTH 00° 00' 00" WEST AND FOLLOWING ALONG THE WEST LINE OF SAID 15.00 ACRE GEORGE R. HEARD TRACT AND THE EAST LINE OF SAID 15.00 ACRE COMMERCIAL CONSTRUCTION SPECIALTIES, LP TRACT, FOR A DISTANCE OF 2678.33 FEET TO THE POINT OF BEGINNING AND CONTAINING 14.7772 ACRES OF LAND, MORE OR LESS.

**NOTES**

1. ALL DRAINAGE TO BE MAINTAINED, REPAIRED, AND REPLACED BY THE PROPERTY OWNER.

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

STATE OF TEXAS  
COUNTY OF ROCKWALL

WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOT 1, BLOCK A, VALK 276 ADDITION, A SUBDIVISION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. WE FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN VALK 276 ADDITION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

WE UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. WE ALSO UNDERSTAND THE FOLLOWING:

- (1) NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.
- (2) ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.
- (3) THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.
- (4) THE DEVELOPER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.
- (5) THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.
- (6) NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR
- (7) THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, REPAIRS, AND RECONSTRUCTION OF DRAINAGE AND DETENTION EASEMENTS ON SITE.

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUESTIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

WE FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; WE, OUR SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

**NOTE:** IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 63-54.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE CITY OF ROCKWALL.

WITNESS, MY HAND AT DALLAS, TEXAS, THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

DONALD L VALK

BY: \_\_\_\_\_  
DONALD L VALK

STATE OF TEXAS  
COUNTY OF ROCKWALL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES:

**SURVEYOR'S CERTIFICATE**

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT I, DAVID PETREE, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

DAVID PETREE  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 1890

**RECOMMENDED FOR FINAL APPROVAL**

PLANNING AND ZONING COMMISSION

PLANNING & ZONING

**APPROVED**

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2020.

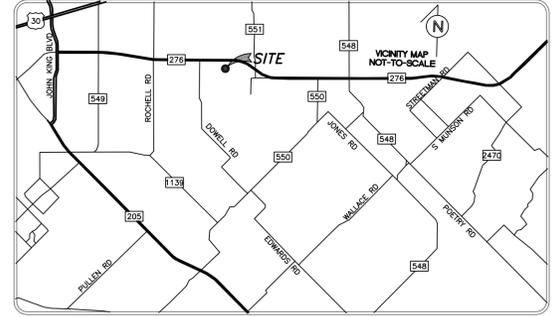
THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL COUNTY, TEXAS, WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

MAYOR, CITY OF ROCKWALL

CITY SECRETARY

CITY ENGINEER



OWNER  
DONALD L VALK  
1450 TL TOWNSEND  
SUITE 100  
ROCKWALL, TX 75032  
MOBILE: (469) 222-1597  
FAX: (469) 718-0451

FINAL PLAT  
LOT 1, BLOCK A  
VALK 276 ADDITION

14.7772 ACRES  
J.H. BAILEY SURVEY, ABSTRACT NOS. 34 & 44  
THE CITY OF ROCKWALL, ROCKWALL COUNTY

NOVEMBER 13, 2023



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** January 20, 2026  
**APPLICANT:** Duane and Jennifer Piercy  
**CASE NUMBER:** P2025-041; *Replat for Lots 2, 3, & 4, Block A, Piercy Place Addition*

---

### SUMMARY

Consider a request by Duane and Jennifer Piercy for the approval of a Replat for Lots 2-4, Block A, Piercy Place Addition being a 1.67-acre tract of land identified as Lot 1, Block A, Piercy Place Addition and Tract 60 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 709-713 Hartman Street, and take any action necessary.

### PLAT INFORMATION

- Purpose. The applicant is requesting the approval of a Replat for a 1.67-acre tract of land [*i.e. Lot 1, Block A, Piercy Place Addition*] for the purpose of subdividing two (2) residential lots to create three (3) residential lots [*i.e. Lots 2-4, Block A, Piercy Place Addition*].
- Background. The subject property was annexed prior to 1934 based on the April 1934 Sanborn Maps. According to the January 3, 1972 zoning map the subject property was zoned Single-Family 3 (SF-3) District. At some point between January 3, 1972 and May 16, 1983 the subject property was rezoned from a Single-Family 3 (SF-3) District to Single-Family 7 (SF-7) District. The property has remained zoned Single Family (SF-7) District since this date. On April 6, 2015, the City Council approved a Final Plat [*i.e. Case No. P2015-011*] that established a portion of the subject property as Lot 1, Block A, Piercy Place Addition. According to Rockwall Central Appraisal District (RCAD), there is currently a 5,370 SF single-family home, a 400 SF cabana, and two (2) storage sheds (240 & 96 SF) on the subject property on this portion of the subject property. The remainder of the subject property is currently vacant following the issuance of a demolition permit [*i.e. RES2025-4831*] by the Building Inspections Department, which authorized the complete removal of all structures on the property.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

### CONDITIONS OF APPROVAL

If City Council chooses to approve of the Replat for *Lots 2, 3, & 4, Block A, Piercy Place Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,

- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**PLANNING AND ZONING COMMISSION**

On January 13, 2026, the Planning and Zoning Commission approved a motion to recommend approval of the Replat by a vote of 5-0, with Commissioner Roth absent and one (1) vacant seat.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 709-711 Hartman

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION 709 Hartman St.

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SF7

CURRENT USE

Single Family Dwelling

PROPOSED ZONING SF7

PROPOSED USE

Single Family Dwelling

ACREAGE .5

LOTS [CURRENT]

1

LOTS [PROPOSED]

2

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Duane and Jennifer Piercy

APPLICANT Same

CONTACT PERSON Duane Piercy

CONTACT PERSON

ADDRESS 713 Hartman

ADDRESS

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

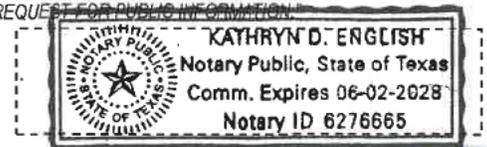
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Duane Piercy [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 24<sup>th</sup> DAY OF November, 2025

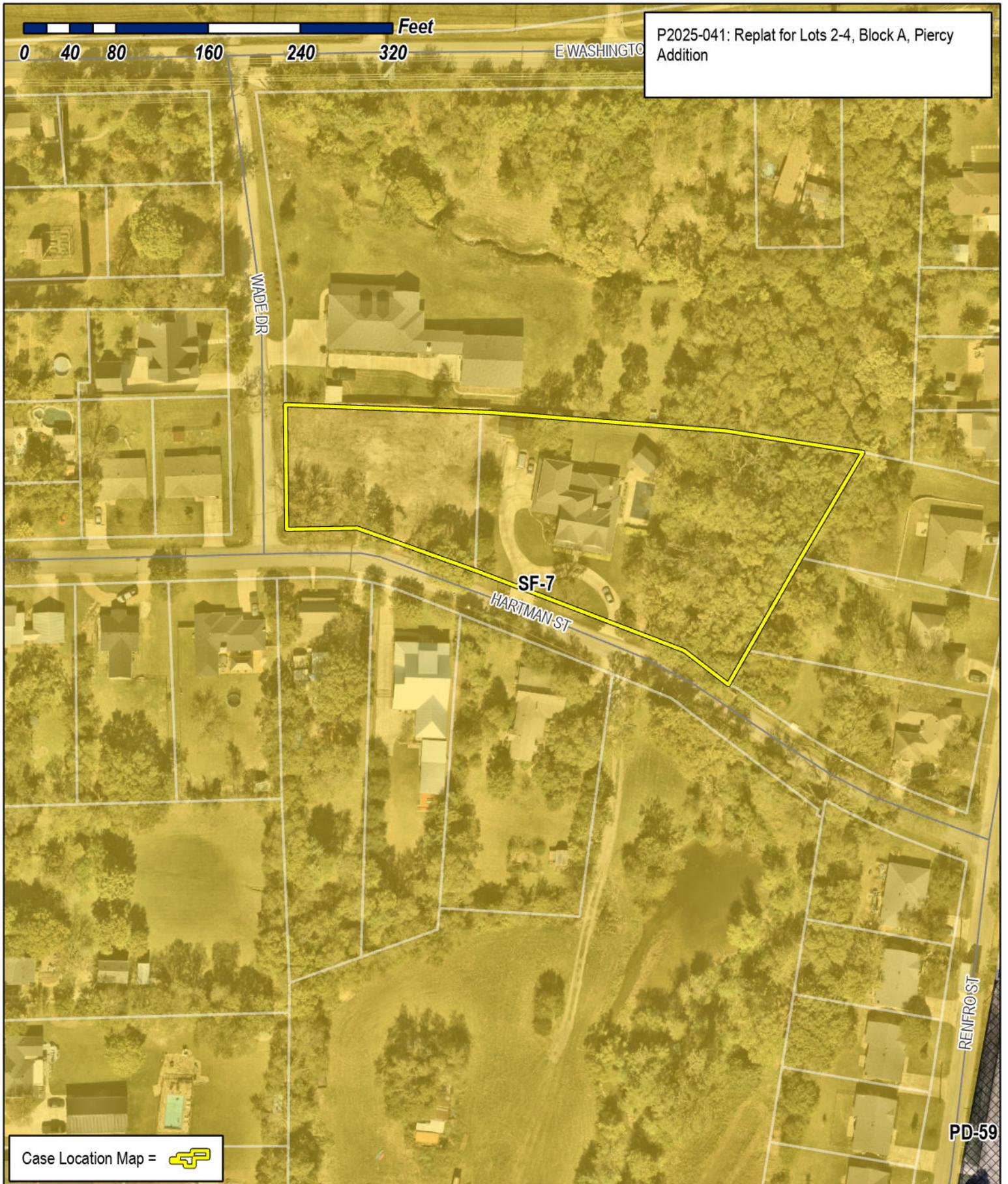
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

6-2-2028



P2025-041: Replat for Lots 2-4, Block A, Piercy Addition

Case Location Map = 

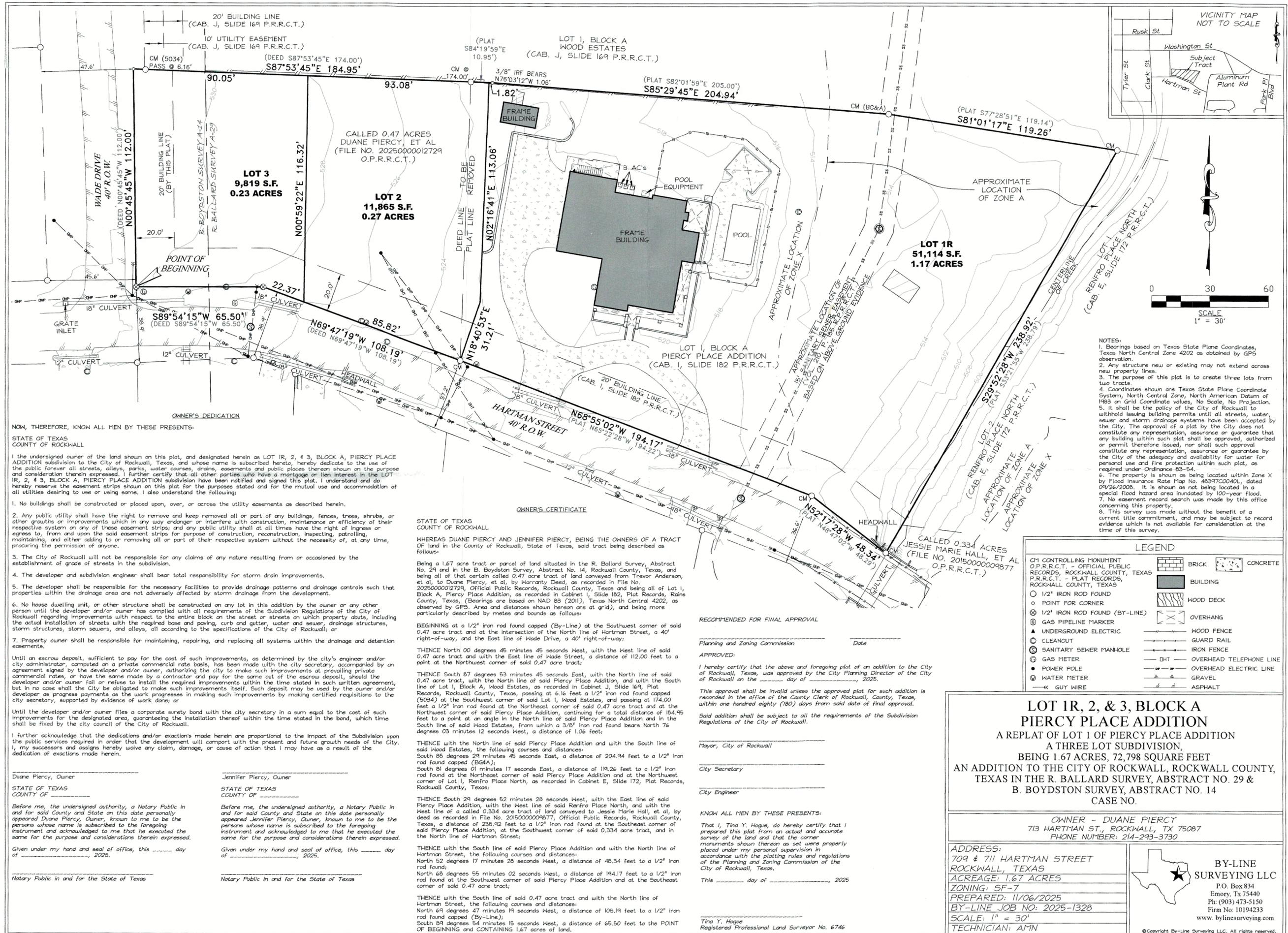


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS  
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as LOT 1R, 2, 4 3, BLOCK A, PIERCY PLACE ADDITION subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the LOT 1R, 2, 4 3, BLOCK A, PIERCY PLACE ADDITION subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or
- Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

Duane Piercy, Owner  
STATE OF TEXAS  
COUNTY OF

Before me, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared Duane Piercy, Owner, known to me to be the persons whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Notary Public in and for the State of Texas

Jennifer Piercy, Owner  
STATE OF TEXAS  
COUNTY OF

Before me, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared Jennifer Piercy, Owner, known to me to be the persons whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

Notary Public in and for the State of Texas

STATE OF TEXAS  
COUNTY OF ROCKWALL

WHEREAS DUANE PIERCY AND JENNIFER PIERCY, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

Being a 1.67 acre tract or parcel of land situated in the R. Ballard Survey, Abstract No. 29 and being all of that certain called 0.47 acre tract of land conveyed from Trevor Anderson, et al, to Duane Piercy, et al, by Warranty Deed, as recorded in File No. 2025000012729, Official Public Records, Rockwall County, Texas and being all of Lot 1, Block A, PIERCY PLACE ADDITION, as recorded in Cabinet J, Slide 169, Plat Records, Rockwall County, Texas, (Bearings are based on NAD 83 (2011), Texas North Central 4202, as observed by GPS. Area and distances shown hereon are at grid), and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" iron rod found capped (By-Line) at the Southwest corner of said 0.47 acre tract and at the intersection of the North line of Hartman Street, a 40' right-of-way, and the East line of Wade Drive, a 40' right-of-way;

THENCE North 00 degrees 45 minutes 45 seconds West, with the West line of said 0.47 acre tract and with the East line of Wade Street, a distance of 112.00 feet to a point at the Northwest corner of said 0.47 acre tract;

THENCE South 87 degrees 53 minutes 45 seconds East, with the North line of said 0.47 acre tract, with the North line of said Piercy Place Addition, and with the South line of Lot 1, Block A, Wood Estates, as recorded in Cabinet J, Slide 169, Plat Records, Rockwall County, Texas, passing at 6.16 feet to a 1/2" iron rod found capped (5034) at the Southwest corner of said Lot 1, Wood Estates, and passing at 174.00 feet to a 1/2" iron rod found at the Northeast corner of said 0.47 acre tract and at the Northwest corner of said Piercy Place Addition, continuing for a total distance of 184.95 feet to a point at an angle in the North line of said Piercy Place Addition and in the South line of said Wood Estates, from which a 3/8" iron rod found bears North 76 degrees 03 minutes 12 seconds West, a distance of 1.06 feet;

THENCE with the North line of said Piercy Place Addition and with the South line of said Wood Estates, the following courses and distances:  
South 85 degrees 29 minutes 45 seconds East, a distance of 204.94 feet to a 1/2" iron rod found capped (BG&A);  
South 81 degrees 01 minutes 17 seconds East, a distance of 119.26 feet to a 1/2" iron rod found at the Northeast corner of said Piercy Place Addition and at the Northwest corner of Lot 1, Renfro Place North, as recorded in Cabinet E, Slide 172, Plat Records, Rockwall County, Texas;

THENCE South 29 degrees 52 minutes 28 seconds West, with the East line of said Piercy Place Addition, with the West line of said Renfro Place North, and with the West line of a called 0.334 acre tract of land conveyed to Jessie Marie Hall, et al, by deed as recorded in File No. 2015000009877, Official Public Records, Rockwall County, Texas, a distance of 238.92 feet, to a 1/2" iron rod found at the Southeast corner of said Piercy Place Addition, at the Southwest corner of said 0.334 acre tract, and in the North line of Hartman Street;

THENCE with the South line of said Piercy Place Addition and with the North line of Hartman Street, the following courses and distances:  
North 52 degrees 17 minutes 26 seconds West, a distance of 48.34 feet to a 1/2" iron rod found;  
North 68 degrees 55 minutes 02 seconds West, a distance of 194.17 feet to a 1/2" iron rod found at the Southwest corner of said Piercy Place Addition and at the Southeast corner of said 0.47 acre tract;

THENCE with the South line of said 0.47 acre tract and with the North line of Hartman Street, the following courses and distances:  
North 69 degrees 47 minutes 19 seconds West, a distance of 108.19 feet to a 1/2" iron rod found capped (By-Line);  
South 89 degrees 54 minutes 15 seconds West, a distance of 65.50 feet to the POINT OF BEGINNING and CONTAINING 1.67 acres of land.

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission \_\_\_\_\_ Date \_\_\_\_\_

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Planning Director of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2025.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

Mayor, City of Rockwall \_\_\_\_\_

City Secretary \_\_\_\_\_

City Engineer \_\_\_\_\_

KNOW ALL MEN BY THESE PRESENTS:

That I, Tina Y. Hogue, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the platting rules and regulations of the Planning and Zoning Commission of the City of Rockwall, Texas.

This \_\_\_\_\_ day of \_\_\_\_\_, 2025

Tina Y. Hogue  
Registered Professional Land Surveyor No. 6746

LEGEND	
CM CONTROLLING MONUMENT	BRICK
O.P.R.R.C.T. - OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS	CONCRETE
P.R.R.C.T. - PLAT RECORDS, ROCKWALL COUNTY, TEXAS	BUILDING
○ 1/2" IRON ROD FOUND	WOOD DECK
⊗ 1/2" IRON ROD FOUND (BY-LINE)	OVERHANG
⊕ GAS PIPELINE MARKER	WOOD FENCE
▲ UNDERGROUND ELECTRIC	GUARD RAIL
○ CLEANOUT	IRON FENCE
⊙ SANITARY SEWER MANHOLE	OVERHEAD TELEPHONE LINE
⊙ GAS METER	OHT
⊙ POWER POLE	OVERHEAD ELECTRIC LINE
⊙ WATER METER	GRAVEL
← GUY WIRE	ASPHALT

**LOT 1R, 2, & 3, BLOCK A  
PIERCY PLACE ADDITION**  
A REPLAT OF LOT 1 OF PIERCY PLACE ADDITION  
A THREE LOT SUBDIVISION,  
BEING 1.67 ACRES, 72,798 SQUARE FEET  
AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY,  
TEXAS IN THE R. BALLARD SURVEY, ABSTRACT NO. 29 &  
B. BOYDSTON SURVEY, ABSTRACT NO. 14  
CASE NO.

OWNER - DUANE PIERCY  
713 HARTMAN ST., ROCKWALL, TX 75087  
PHONE NUMBER: 214-293-3730

ADDRESS:  
709 # 711 HARTMAN STREET  
ROCKWALL, TEXAS  
ACREAGE: 1.67 ACRES  
ZONING: SF-7  
PREPARED: 11/06/2025  
BY-LINE JOB NO: 2025-1328  
SCALE: 1" = 30'  
TECHNICIAN: AMN

BY-LINE  
SURVEYING LLC  
P.O. Box 834  
Emory, TX 75440  
Ph: (903) 473-5150  
Firm No: 10194233  
www.bylinesurveying.com  
©Copyright By-Line Surveying LLC. All rights reserved.



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** January 20, 2026  
**APPLICANT:** Stephanie Tutt, *Kimley-Horn and Associates, Inc.*  
**CASE NUMBER:** P2025-042; *Preliminary Plat for Lots 1 & 2, Block A, Casey's Blackland Addition*

---

### SUMMARY

Consider a request by Stephanie Tutt of Kimley Horn on behalf of James Valk for the approval of a Preliminary Plat for Lots 1 & 2, Block A, Casey's Blackland Addition, being a 10.5908-acre tract of land identified as Tract 9-2 of the J. R. Marrs Survey, Abstract No. 152, Rockwall County, Texas, generally located southeast corner of the intersection of SH-276 and FM-548, and take any action necessary.

### PLAT INFORMATION

- ☑ Purpose. The purpose of the applicant's request is to Preliminary Plat a 10.5908-acre parcel of land (*i.e. Tract 9-2 of the J. R. Marrs Survey, Abstract No. 152*) -- which is situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall -- to show the future development of a *retail store with gasoline sales* on the proposed Lot 1, Block A, Casey's Blackland Addition. The proposed Preliminary Plat also lays out the necessary easements (*e.g. right-of-way, utilities, and drainage*) for the future development.
- ☑ Requirements. The proposed Preliminary Plat is subject to the requirements of Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, the City's *Standards of Design and Construction Manual*, and *Exhibit 'A', Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall*, of the *Interlocal Agreement between Rockwall County and the City of Rockwall*.
- ☑ Conformance to the Rockwall County Interlocal Agreement. With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of *Exhibit 'A'* of the *Interlocal Cooperation Agreement* between Rockwall County and the City of Rockwall.
- ☑ Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional Approval. Conditional approval of this Preliminary Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

### CONDITIONS OF APPROVAL

If the City Council chooses to approve of the Preliminary Plat for *Lots 1 & 2, Block A, Casey's Blackland Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the City of Rockwall and Rockwall County shall be addressed prior to submitting this Preliminary Plat for final signatures; and,
- (2) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city

adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**PLANNING AND ZONING COMMISSION**

On January 13, 2026, the Planning and Zoning Commission approved a motion to recommend approval of the Preliminary Plat by a vote of 5-0, with Commissioner Roth absent and one (1) vacant seat.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS SEC FM 548 AND HWY 276

SUBDIVISION CASEYS BLACKLAND

LOT 1

BLOCK 1

GENERAL LOCATION SEC FM 548 AND HWY 276

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SITE LOCATED IN ROCKWALL ETJ

CURRENT USE VACANT, UNDEVELOPED

PROPOSED ZONING SITE LOCATED IN ROCKWALL ETJ

PROPOSED USE CONVENIENCE STORE AND FUELING STATION

ACREAGE 2.4775

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER RENE E BURNS

APPLICANT KIMLEY HORN

CONTACT PERSON JAMES VALK

CONTACT PERSON STEPHANIE TUTT

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Renee Burns [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

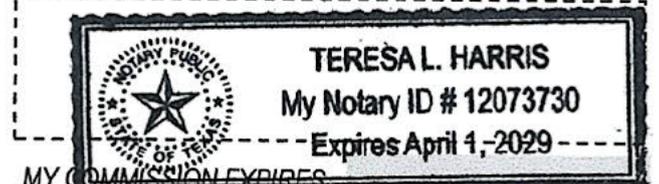
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10th DAY OF December, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

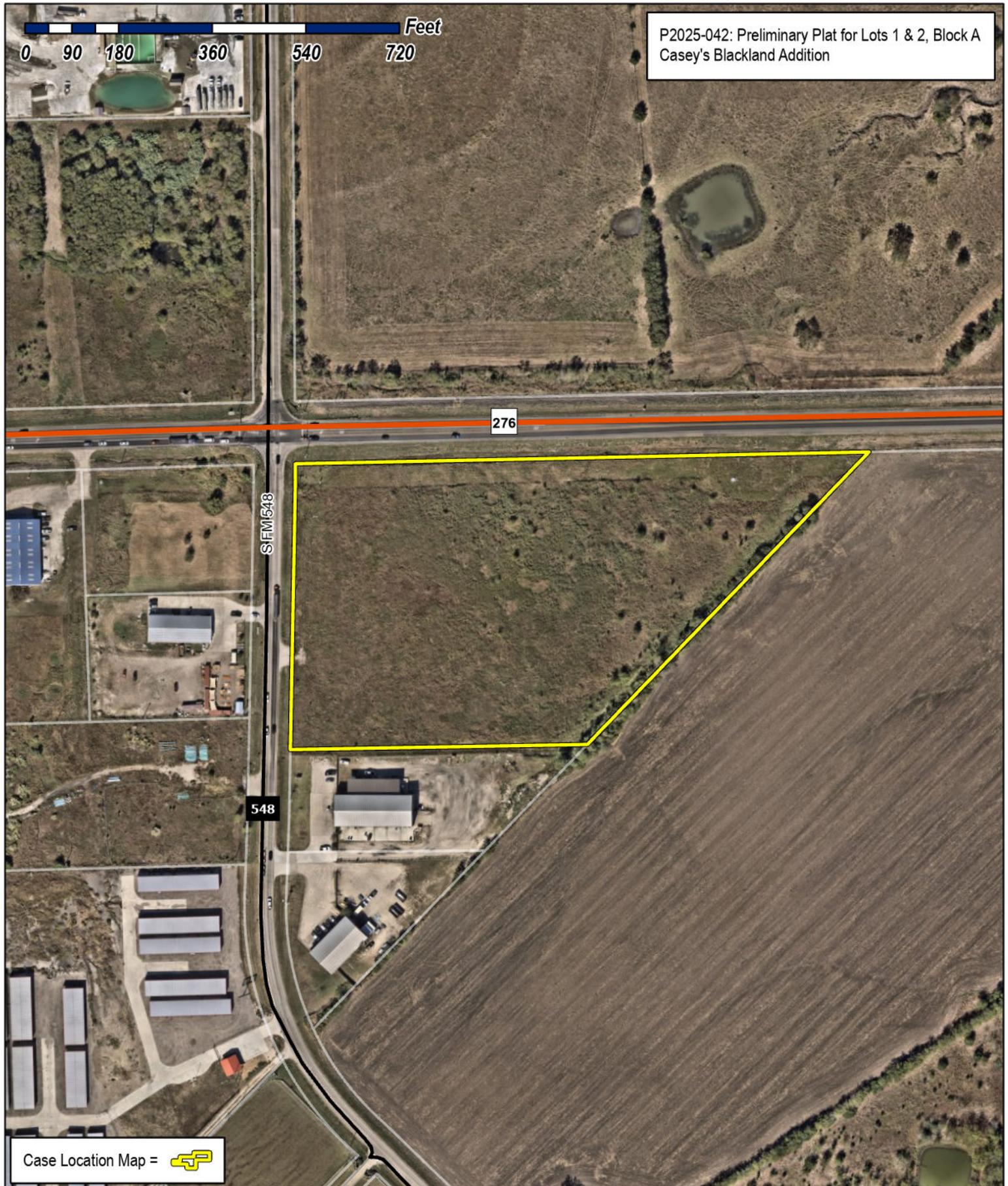
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF December, 2025.

OWNER'S SIGNATURE

*Renee Burns*  
*Teresa L. Harris*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

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NOTES

- 1. The bearing system for this survey is based on the Texas Coordinate System of 1983 (2011), North Central Zone (4202) based on observations made on 12/27/2024 with an applied combined scale factor of 1.000146135.
2. The grid coordinates shown hereon are based on the Texas Coordinate System of 1983, North Central 4202, no scale and no projection.
3. All corners hereon are 5/8" iron rod set with a cap stamped "KHA" unless noted otherwise.
4. According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48397C0065L, for Rockwall County, Texas and incorporated areas, dated September 26, 2008, this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
5. The purpose of this plat is to create two lots adn dedicate easements.
6. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
7. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
8. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
9. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
10. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

APPROVED

I hereby certify that the above and foregoing plat of an addition to the Town of Blackland, Texas, was approved by the Town of Blackland on the \_\_\_ day of \_\_\_, 2025. This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within thirty (30) days from said date of final approval. WITNESS OUR HANDS, This \_\_\_ day of \_\_\_, 2025. Mayor City Secretary

SURVEYOR'S CERTIFICATION

I, Stanley Crawford Russell, Registered Professional Land Surveyor, do hereby certify that the plat shown hereon accurately represents the property as determined by an on the ground survey, made under my supervision on 12/27/2024 and that all corners are shown hereon. PRELIMINARY THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. Stanley Crawford Russell Registered Professional Land Surveyor No. 7080

STATE OF TEXAS COUNTY OF SMITH

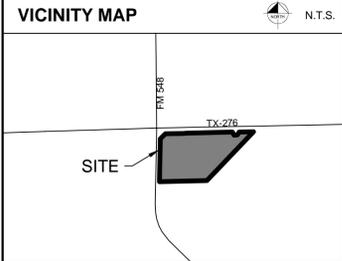
BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Stanley Crawford Russell, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated. GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_ day of \_\_\_, 2025.

Notary Public, State of Texas



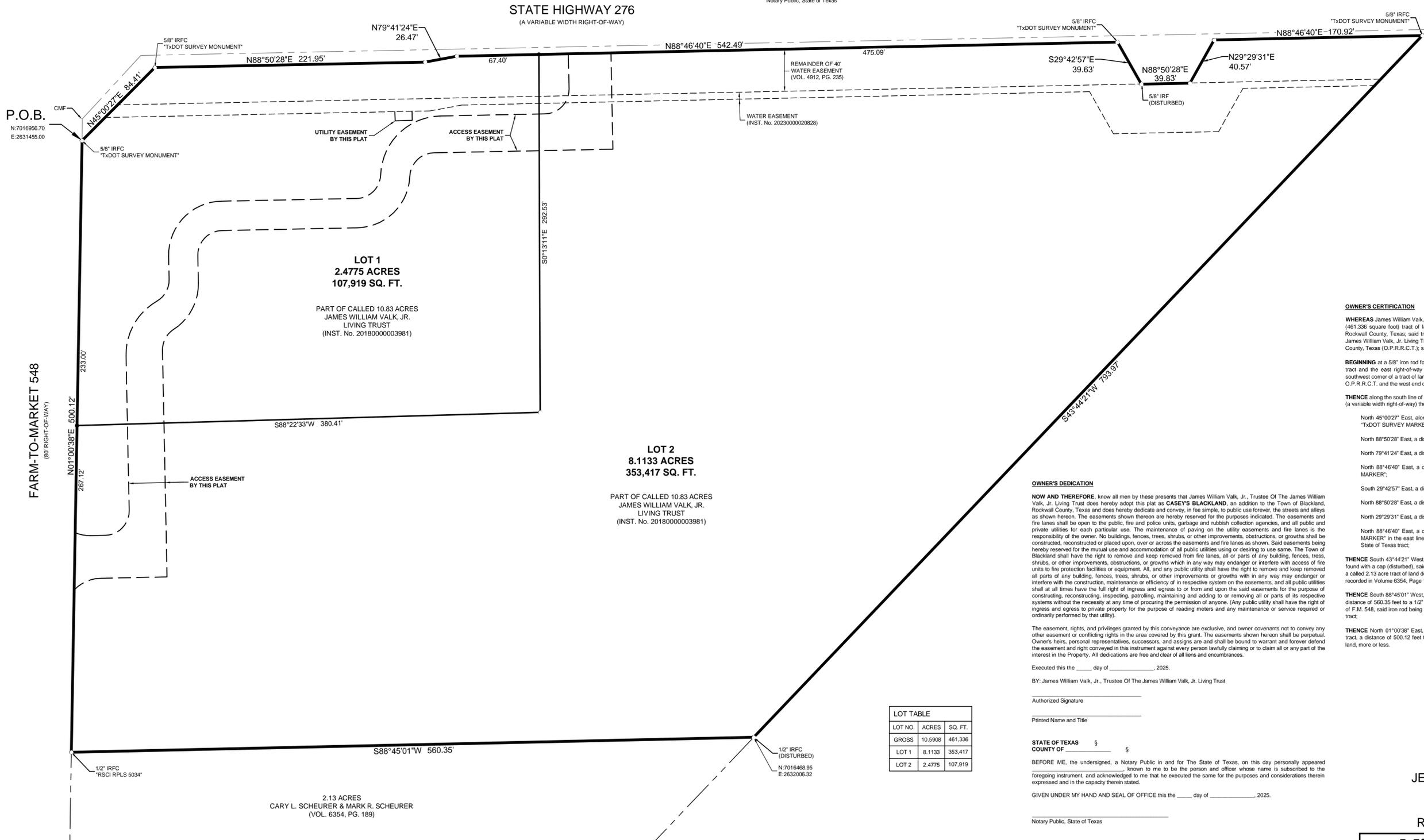
LEGEND

P.O.B. = POINT OF BEGINNING IRFC = IRON ROD FOUND CAPPED CMF = CONCRETE MONUMENT FOUND



LINE TYPE LEGEND

Table with 2 columns: Line Style and Description. Includes Boundary Line, Adjacent Property Line, Existing Easement Line, Proposed Easement Line, and Denial of Access Line.



LOT 2 8.1133 ACRES 353,417 SQ. FT. PART OF CALLED 10.83 ACRES JAMES WILLIAM VALK, JR. LIVING TRUST (INST. No. 2018000003981)

LOT 1 2.4775 ACRES 107,919 SQ. FT. PART OF CALLED 10.83 ACRES JAMES WILLIAM VALK, JR. LIVING TRUST (INST. No. 2018000003981)

LOT TABLE table with columns: LOT NO., ACRES, SQ. FT. Rows include GROSS, LOT 1, and LOT 2.

OWNER'S DEDICATION

NOW AND THEREFORE, know all men by these presents that James William Valk, Jr., Trustee Of The James William Valk, Jr. Living Trust does hereby adopt this plat as CASEY'S BLACKLAND, an addition to the Town of Blackland, Rockwall County, Texas and does hereby dedicate and convey, in fee simple, to public use forever, the streets and alleys as shown hereon. The easements shown thereon are hereby reserved for the purposes indicated. The easements and fire lanes shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use.

The easement, rights, and privileges granted by this conveyance are exclusive, and owner covenants not to convey any other easement or conflicting rights in the area covered by this grant. The easements shown hereon shall be perpetual. Owner's heirs, personal representatives, successors, and assigns are and shall be bound to warrant and forever defend the easement and right conveyed in this instrument against every person lawfully claiming or to claim all or any part of the interest in the Property. All dedications are free and clear of all liens and encumbrances.

Executed this the \_\_\_ day of \_\_\_, 2025. BY: James William Valk, Jr., Trustee Of The James William Valk, Jr. Living Trust

Authorized Signature Printed Name and Title

STATE OF TEXAS COUNTY OF

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated. GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_ day of \_\_\_, 2025.

Notary Public, State of Texas

SURVEYOR KIMLEY-HORN AND ASSOC. INC. 110 N. COLLEGE AVENUE, SUITE 1800 TYLER, TEXAS 75702 STANLEY CRAWFORD RUSSELL, RPLS TEL. NO. 817-335-6511 Stan.C.Russell@Kimley-Horn.com

OWNER JAMES WILLIAM VALK, JR., TRUSTEE OF THE JAMES WILLIAM VALK, JR. LIVING TRUST P.O. BOX 508 FATE, ROCKWALL COUNTY, TEXAS 75132

OWNER'S CERTIFICATION

WHEREAS James William Valk, Jr., Trustee of the James William Valk, Jr. Living Trust, is the owner of a 10.5908 acre (461,336 square foot) tract of land situated in the Jeremiah R. Marrs Survey, Abstract No. 152, Town of Blackland, Rockwall County, Texas; said tract being a portion of a called 10.83 acre tract of land described in Warranty Deed to James William Valk, Jr. Living Trust recorded in Instrument Number 2018000003981, Official Public Records, Rockwall County, Texas (O.P.R.R.C.T.); said tract being more particularly described as follows:

BEGINNING at a 5/8" iron rod found with a cap stamped "TXDOT SURVEY MARKER" in the west line of said 10.83 acre tract and the east right-of-way line of Farm-to-Market 548 (F.M. 548) (an 80' right-of-way), said iron rod being the southwest corner of a tract of land described in Deed to State of Texas recorded in Instrument Number 20210000015812, O.P.R.R.C.T. and the west end of a right-of-way corner clip;

THENCE along the south line of said State of Texas tract and the south right-of-way line of State Highway 276 (S.H. 276) (a variable width right-of-way) the following eight (8) calls:

- North 45°00'27" East, along said corner clip, a distance of 84.41 feet to a 5/8" iron rod found with a cap stamped "TXDOT SURVEY MARKER", said iron rod being the north end of said corner clip;
North 88°50'28" East, a distance of 221.95 feet to a point for corner;
North 79°41'24" East, a distance of 26.47 feet to a point for corner;
North 88°46'40" East, a distance of 542.49 feet to a 5/8" iron rod found with a cap stamped "TXDOT SURVEY MARKER";
South 29°42'57" East, a distance of 39.63 feet to a 5/8" iron rod found;
North 88°50'28" East, a distance of 39.83 feet to a point for corner;
North 29°29'31" East, a distance of 40.57 feet to a point for corner;
North 88°46'40" East, a distance of 170.92 feet to a 5/8" iron rod found with a cap stamped "TXDOT SURVEY MARKER" in the east line of said 10.83 acre tract, said iron rod being the most easterly southeast corner of said State of Texas tract;

THENCE South 43°44'21" West, along the said east line of 10.83 acre tract, a distance of 793.97 feet to a 1/2" iron rod found with a cap (disturbed), said iron rod being the southeast corner of said 10.83 acre tract and the northeast corner of a called 2.13 acre tract of land described in Warranty Deed with Vendor's Lien to Cary L. Scheurer and Mark R. Scheurer recorded in Volume 6354, Page 189, Deed Records, Rockwall County, Texas (D.R.R.C.T.);

THENCE South 88°45'01" West, along the south line of said 10.83 acre tract and the north line of said 2.13 acre tract, a distance of 560.35 feet to a 1/2" iron rod found with a cap stamped "RSCD RPLS 5034" in the said east right-of-way line of F.M. 548, said iron rod being the southwest corner of said 10.83 acre tract and the northwest corner of said 2.13 acre tract;

THENCE North 01°00'38" East, along the said east right-of-way line of F.M. 548 and the said west line of 10.83 acre tract, a distance of 500.12 feet to the POINT OF BEGINNING and containing 461,336 square feet or 10.5908 acres of land, more or less.

PRELIMINARY PLAT CASEY'S BLACKLAND 10.5908 ACRES JEREMIAH R. MARRS SURVEY, ABSTRACT No. 152 TOWN OF BLACKLAND, ROCKWALL COUNTY, TEXAS

Kimley Horn logo

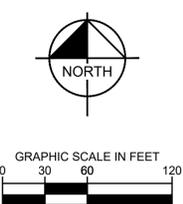
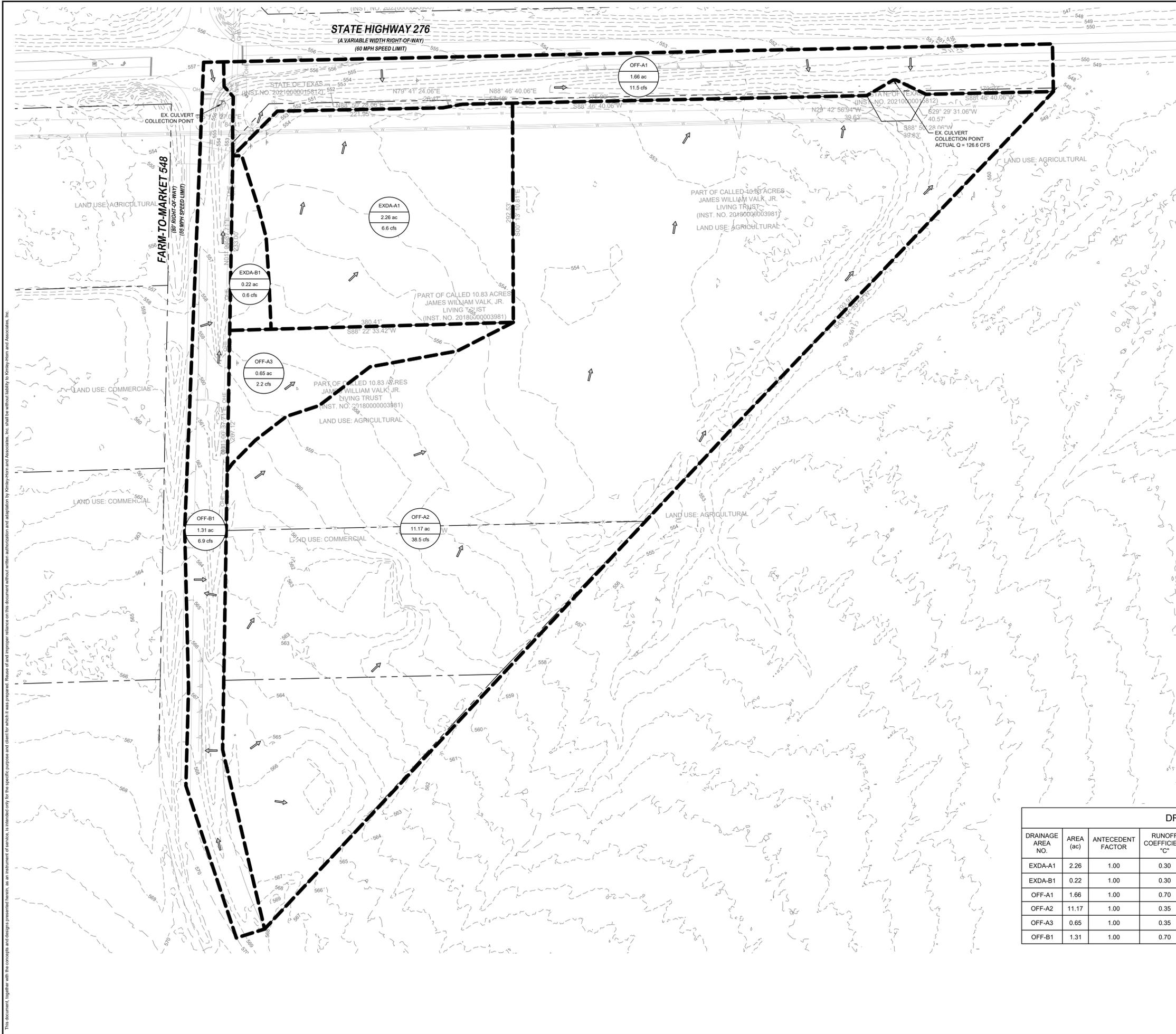
110 N. College Avenue, Suite 1800 Tyler, Texas 75702 FIRM # 10194040 Tel. No. (903) 617-5839 www.kimley-horn.com

Table with 6 columns: Scale, Drawn by, Checked by, Date, Project No., Sheet No. Values: 1" = 40', MKK, SCR, 05/13/2025, 060007507, 1 OF 1



KIMLEY-HORN AND ASSOCIATES, INC.  
 6800 BURLISON ROAD, SUITE 500  
 AUSTIN, TEXAS 78744  
 TEL: 512-416-9944  
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**LEGEND**

	AREA DESIGNATOR (C FACTOR) AREA IN ACRES Q100 FLOW IN CFS
	PROPERTY LINE
	DRAINAGE DIVIDE
	FLOW DIRECTION
	EXISTING 1-FOOT CONTOUR

**DRAINAGE AREA TABLE**

DRAINAGE AREA NO.	AREA (ac)	ANTECEDENT FACTOR	RUNOFF COEFFICIENT "C"	TIME OF CONCENTRATION (minutes)	RAINFALL INTENSITY "I" <sup>1</sup> 100 (in/hr)	TOTAL FLOW Q100 (cfs)	COLLECTION POINT
EXDA-A1	2.26	1.00	0.30	10	9.80	6.6	TXDOT ROW (OFF-A1)
EXDA-B1	0.22	1.00	0.30	10	9.80	0.6	TXDOT ROW (OFF-B1)
OFF-A1	1.66	1.00	0.70	10	9.85	11.5	EX. CULVERT
OFF-A2	11.17	1.00	0.35	10	9.85	38.5	EX. CULVERT
OFF-A3	0.65	1.00	0.35	10	9.85	2.2	TXDOT ROW (OFF-A1)
OFF-B1	1.31	1.00	0.70	15	7.52	6.9	EX. CULVERT

NO.	REVISIONS	DATE	BY

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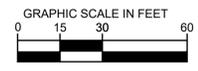
FOR REVIEW ONLY  
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**Kimley-Horn**  
 Engineer  
 STEPHANIE TUTT  
 P.E. No. 145394 Date Dec-25

KHA PROJECT	060007507
DATE	DECEMBER 2025
SCALE	AS SHOWN
DESIGNED BY	RS
DRAWN BY	RS
CHECKED BY	ST

BLACKLAND CASEY'S  
 PRELIMINARY PLAN  
 BLACKLAND, TEXAS

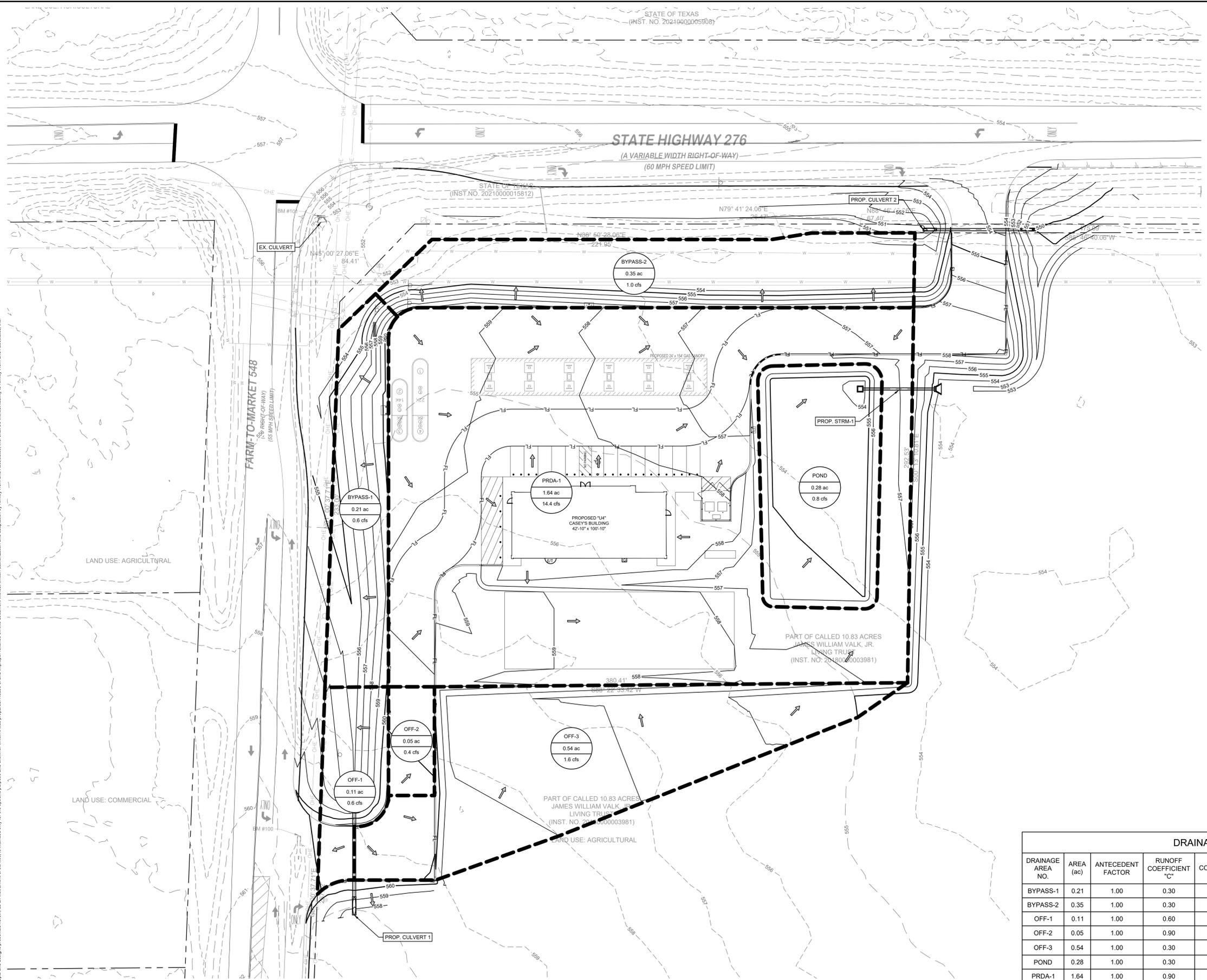
EXISTING DRAINAGE  
 AREA MAP

SHEET NUMBER  
**C-03**



**LEGEND**

- A-1  
30.32 AC  
37.542 AREA DESIGNATOR (C FACTOR)  
AREA IN ACRES  
Q100 FLOW IN CFS
- PROPERTY LINE
- DRAINAGE DIVIDE
- ← FLOW DIRECTION
- 721 PROPOSED 1-FOOT CONTOUR
- - - 721 EXISTING 1-FOOT CONTOUR



DRAINAGE AREA TABLE							
DRAINAGE AREA NO.	AREA (ac)	ANTECEDENT FACTOR	RUNOFF COEFFICIENT "C"	TIME OF CONCENTRATION (minutes)	RAINFALL INTENSITY "1"100 (in/hr)	TOTAL FLOW Q100 (cfs)	COLLECTION POINT
BYPASS-1	0.21	1.00	0.30	10	9.80	0.6	EX. CULVERT
BYPASS-2	0.35	1.00	0.30	10	9.80	1.0	CULVERT 2
OFF-1	0.11	1.00	0.60	10	9.80	0.6	EX. CULVERT
OFF-2	0.05	1.00	0.90	10	9.80	0.4	POND
OFF-3	0.54	1.00	0.30	10	9.80	1.6	OFFSITE (EX. CULVERT)
POND	0.28	1.00	0.30	10	9.80	0.8	STRM-1
PRDA-1	1.64	1.00	0.90	10	9.80	14.4	POND

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NO.	REVISIONS	DATE	BY

**Kimley-Horn**

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**Kimley-Horn**

Engineer: STEPHANIE TUTT  
 P.E. No. 145394 Date: Dec-25

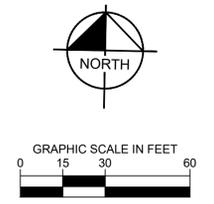
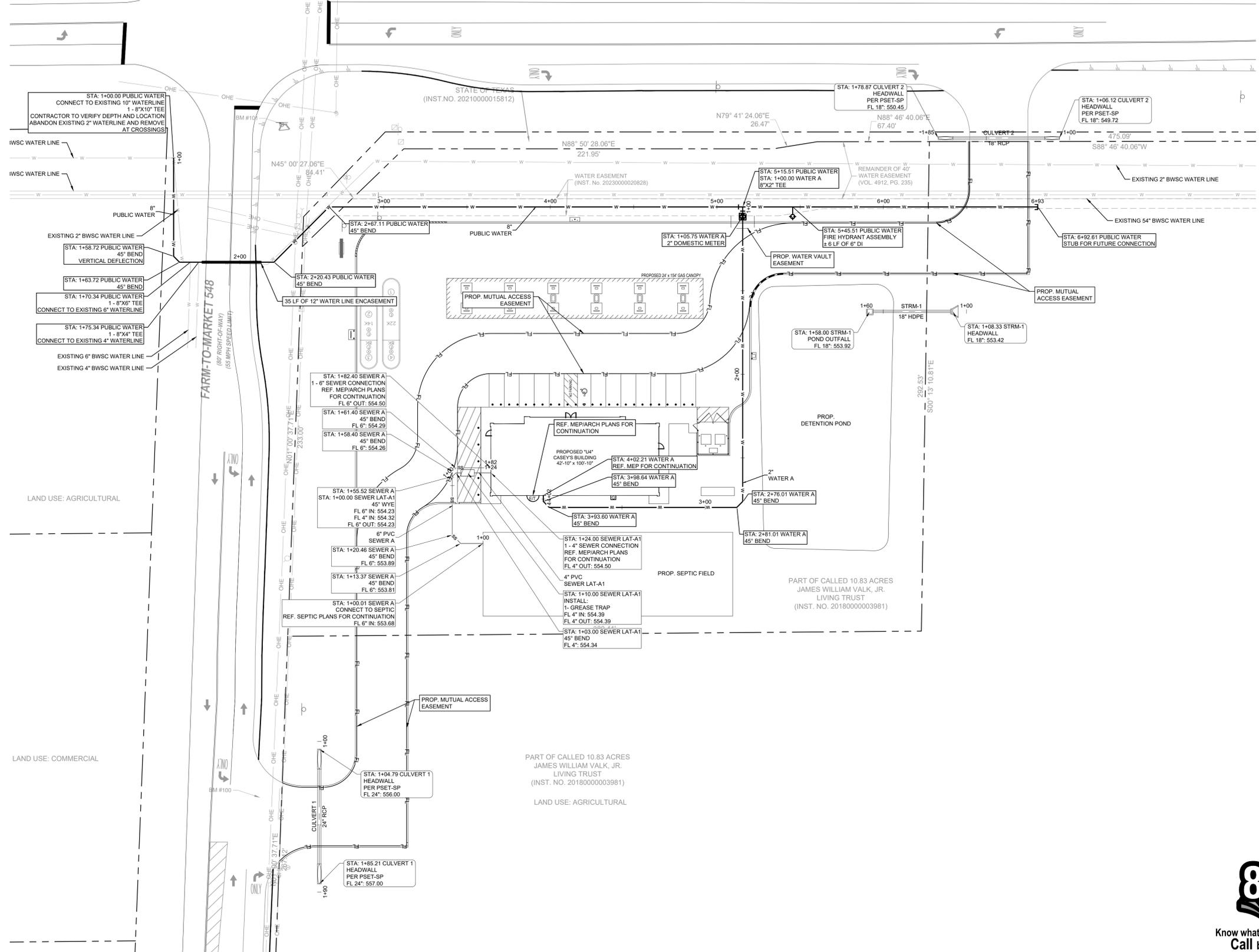
KHA PROJECT	060007507
DATE	DECEMBER 2025
SCALE	AS SHOWN
DESIGNED BY	RS
DRAWN BY	RS
CHECKED BY	ST

**BLACKLAND CASEY'S  
PRELIMINARY PLAN**  
  
 BLACKLAND, TEXAS

**DRAINAGE AREA MAP**  
  
 SHEET NUMBER  
**C-04**

KIMLEY-HORN AND ASSOCIATES, INC.  
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**LEGEND**

---	PROPERTY LINE
---	LOT LINE
---	PROPOSED WATER LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED STORM
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER LINE
---	EXISTING STORM
○	PROPOSED FIRE HYDRANT
○	FDC
○	SANITARY SEWER MANHOLE
○	WATER METER
○	WATER VALVE
○	STORM MANHOLE
○	TYPE "Y" INLET

**KEY**

TYP.	TYPICAL
BFR	BARRIER FREE RAMP
CI	CURB INLET
JB	JUNCTION BOX
GI	GRATE INLET
HW	HEADWALL
MH	MANHOLE
CO	CLEANOUT
GT	GREASE TRAP
FH	FIRE HYDRANT
UE	UTILITY EASEMENT
WM	WATER METER
DCV	DOUBLE DETECTOR CHECK VAULT
IRR	IRRIGATION METER
FDC	FIRE DEPARTMENT CONNECTION
○	NUMBER OF PARKING SPACES

**UTILITY NOTES**

- PRIOR TO CONSTRUCTION, CONTRACTOR TO NOTIFY ENGINEERING IMMEDIATELY SHOULD THERE BE ANY DISCREPANCIES OR IF EXISTING FIELD CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS.
- THE UTILITIES SHOWN ON THIS DRAWING WERE DEVELOPED FROM THE INFORMATION AVAILABLE, THIS IS NOT IMPLIED OR INTENDED TO BE THE COMPLETE INVENTORY OF UTILITIES IN THIS AREA. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES (WHETHER SHOWN OR NOT SHOWN) AND PROTECT SAID UTILITIES FROM ANY DAMAGE.
- CONTRACTOR SHALL NOTIFY ENGINEER IF EXISTING FLOWLINE ELEVATIONS DO NOT MATCH THOSE SHOWN ON THIS PLAN.
- CONTRACTOR TO ADJUST MH RIM ELEVATIONS TO FINISHED GRADE. THE USE OF GRADE RINGS ARE LIMITED TO A TOTAL OF 12" (EXISTING AND PROPOSED).
- TAPPING OR METER FEE, IF APPLICABLE, SHALL BE PAID BY CONTRACTOR.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF BLACKLAND STANDARD SPECIFICATIONS AND DETAILS.
- REFER TO TOEQ DESIGN GUIDELINES FOR ALL UTILITY CROSSINGS.
- SANITARY SEWER SHALL HAVE A MINIMUM OF 3.5 FEET OF COVER FROM OUTSIDE OF PIPE TO FINAL GRADE.
- WATER SERVICE IS PROVIDED BY BLACKLAND WATER SUPPLY CORPORATION (BWSC).
- ON-SITE SEPTIC IS PROVIDED FOR WASTEWATER.

**BENCH MARK LIST**

BM #100 "X" MAG-NAIL W/ SHINER SET IN CONCRETE ON THE TOP OF A CONCRETE HEADWALL ON THE SOUTH SIDE OF A GRAVEL DRIVE ON THE EAST SIDE OF F.M. 548, APPROXIMATELY 470 FEET SOUTH OF THE INTERSECTION OF STATE HIGHWAY 276 AND F.M. 548, 55 FEET SOUTH OF A CONCRETE HEADWALL ON THE NORTH SIDE OF THE GRAVEL DRIVE, AND 180 FEET NORTH OF A HIGHWAY SIGN ON THE EAST SIDE OF F.M. 548.	NORTHING: 7017652.58 EASTING: 2631820.37 ELEV. = 559.70'
BM #101 "X" MAG-NAIL W/ SHINER SET IN CONCRETE ON THE TOP OF A CONCRETE HEADWALL AT THE SOUTHWEST CORNER OF THE INTERSECTION OF STATE HIGHWAY 276 AND F.M. 548, APPROXIMATELY 30 FEET SOUTHWEST OF A LIGHT POLE, 55 FEET NORTH OF A CONCRETE TxDOT MONUMENT, AND 65 FEET WEST OF A FIBER OPTIC BOX & SIGN.	NORTHING: 7018054.92 EASTING: 2631826.97 ELEV. = 553.65'
BM #102 "X" MAG-NAIL W/ SHINER SET IN ASPHALT ON THE EAST EDGE OF 548, APPROXIMATELY 660 FEET SOUTH OF THE INTERSECTION OF STATE HIGHWAY 276 AND F.M. 548, 10 FEET WEST OF A HIGHWAY SIGN ON THE EAST SIDE OF F.M. 548, AND 185 FEET SOUTH OF A CONCRETE HEADWALL ON THE SOUTH SIDE OF A GRAVEL DRIVE ON THE EAST SIDE OF F.M. 548.	NORTHING: 7017467.80 EASTING: 2631799.41 ELEV. = 563.78'



**Know what's below.  
 Call before you dig.**

**CAUTION!!**  
 EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

NO.	REVISIONS	DATE

**Kimley-Horn**  
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 AUSTIN, TX 78744  
 PHONE: 512-616-9944  
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**Kimley-Horn**  
 Engineer: STEPHANIE TUTT  
 P.E. No. 145394 Date: Dec-25

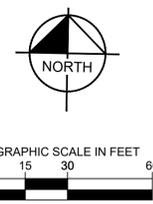
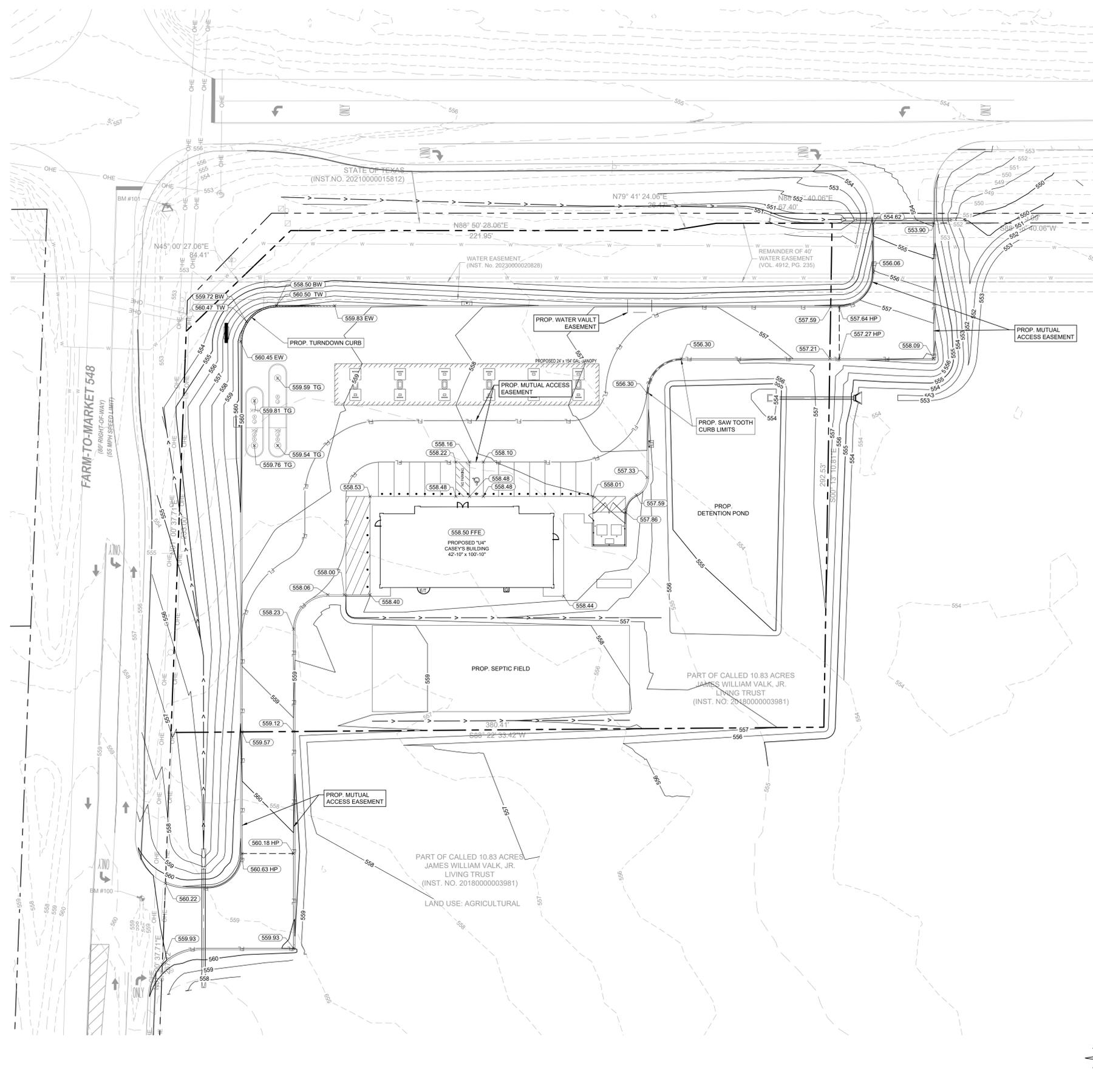
KHA PROJECT	060007507
DATE	DECEMBER 2025
SCALE	AS SHOWN
DESIGNED BY	RS
DRAWN BY	RS
CHECKED BY	ST

BLACKLAND CASEY'S  
 PRELIMINARY PLAN  
 BLACKLAND, TEXAS

**UTILITY PLAN**  
 SHEET NUMBER  
**C-05**

JAMES  
 LAST SAVED  
 DATE: 12/20/2025 9:32 AM  
 DRAWN BY: JAMES  
 CHECKED BY: JAMES

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**GRADING NOTES**

- ALL CONSTRUCTION SHALL BE IN GENERAL ACCORDANCE WITH THESE PLANS, THE FINAL GEOTECHNICAL REPORT, AS WELL AS CITY OF BLACKLAND AND NCTCOG CONSTRUCTION STANDARDS.
- UNLESS OTHERWISE NOTED, PROPOSED CONTOURS AND SPOT ELEVATIONS SHOW FINISH GRADES. FINISH GRADES ARE TO TOP OF PAVEMENT SURFACE. ADD .50' TO PAVING GRADE FOR TOP OF CURB GRADE.
- FOR AREAS OUTSIDE OF PAVEMENT, PLAN ELEVATIONS ARE TO TOP OF FINISH GRADE.
- FINISH GRADES SHALL BE PLUS OR MINUS ONE TENTH OF A FOOT (±0.10') OF DESIGN GRADE.
- THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
- THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING WATER, OR BY OTHER MEANS APPROVED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
- ALL EXCAVATION IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED. UNUSABLE EXCAVATED MATERIAL AND ALL WASTE RESULTING FROM SITE CLEARING AND GRUBBING SHALL BE DISPOSED OFF SITE BY THE GRADING CONTRACTOR AT HIS EXPENSE.
- BEFORE ANY EARTHWORK IS PERFORMED, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF PAVEMENT AND OTHER ITEMS ESTABLISHED BY THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
- REFERENCE STRUCTURAL DRAWINGS AND SPECIFICATIONS AND GEOTECHNICAL REPORT FOR BUILDING PAD AND PAVING SUBGRADE PREPARATION. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
- THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- GRADING CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
- TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS. THE NOMINATION OF THE TESTING LABORATORY AND THE PAYMENTS FOR SUCH TESTING SERVICES SHALL BE MADE BY THE CONTRACTOR. THE OWNER SHALL APPROVE THE LABORATORY NOMINATED TO DO THE TESTING OF MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED DOES MEET THE REQUIREMENTS OF THE SPECIFICATIONS AND THESE PLANS.
- CONTRACTOR SHALL CALL DIGTEST AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION FOR FIELD LOCATIONS OF UTILITIES IN THE VICINITY OF THE SITE.
- PROPOSED CONTOURS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN CASE OF DISCREPANCY.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR NATURAL AND PAVED AREAS.
- REFER TO DIMENSION CONTROL PLAN FOR HORIZONTAL DIMENSIONS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
- REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL CONTROL PRIOR TO COMMENCING CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE CONSTRUCTION COMMENCES.
- AFTER PLACEMENT OF SUBGRADE AND PRIOR TO PLACEMENT OF PAVEMENT, CONTRACTOR SHALL TEST AND OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING. ALL AREAS SHALL ADEQUATELY DRAIN TOWARDS THE INTENDED STRUCTURE TO CONVEY STORM RUNOFF. CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER AND ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
- THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL EROSION UNDER EXISTING PAVEMENT ALONG THE PROJECT LIMITS DURING CONSTRUCTION.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OF 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
- CONTRACTOR SHALL ADJUST RIMS, VALVES, HYDRANTS, AND OTHER APPURTENANCES TO MATCH FINISH GRADE.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. DATED MARCH 24, IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- DETENTION PONDS ARE TO BE PRIVATELY MAINTAINED.

**LEGEND**

- PROPERTY LINE
- - - LOT LINE
- ▬ BARRIER FREE RAMP
- ⊕ PROPOSED FIRE HYDRANT
- FDC
- ⊙ SANITARY SEWER MANHOLE
- ⊙ WATER METER
- ⊙ WATER VALVE
- ⊙ STORM MANHOLE
- ⊙ TYPE "Y" INLET

**CAUTION!!**

EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.



**BENCH MARK LIST**

- BM #100 "X" MAG-NAIL W/ SHINER SET IN CONCRETE ON THE TOP OF A CONCRETE HEADWALL ON THE SOUTH SIDE OF A GRAVEL DRIVE ON THE EAST SIDE OF F.M. 548, APPROXIMATELY 470 FEET SOUTH OF THE INTERSECTION OF STATE HIGHWAY 276 AND F.M. 548, 55 FEET SOUTH OF A CONCRETE HEADWALL ON THE NORTH SIDE OF THE GRAVEL DRIVE, AND 180 FEET NORTH OF A HIGHWAY SIGN ON THE EAST SIDE OF F.M. 548.  
 NORTHING: 7017652.58  
 EASTING: 2631820.37  
 ELEV. = 559.70'
- BM #101 "X" MAG-NAIL W/ SHINER SET IN CONCRETE ON THE TOP OF A CONCRETE HEADWALL AT THE SOUTHEAST CORNER OF THE INTERSECTION OF STATE HIGHWAY 276 AND F.M. 548, APPROXIMATELY 30 FEET SOUTHWEST OF A LIGHT POLE, 55 FEET NORTH OF A CONCRETE TxDOT MONUMENT, AND 65 FEET WEST OF A FIBER OPTIC BOX & SIGN.  
 NORTHING: 7018054.92  
 EASTING: 2631826.97  
 ELEV. = 553.65'
- BM #102 "X" MAG-NAIL W/ SHINER SET IN ASPHALT ON THE EAST EDGE OF 548, APPROXIMATELY 660 FEET SOUTH OF THE INTERSECTION OF STATE HIGHWAY 276 AND F.M. 548, 10 FEET WEST OF A HIGHWAY SIGN ON THE EAST SIDE OF F.M. 548, AND 185 FEET SOUTH OF A CONCRETE HEADWALL ON THE SOUTH SIDE OF A GRAVEL DRIVE ON THE EAST SIDE OF F.M. 548.  
 NORTHING: 7017467.80  
 EASTING: 2631799.41  
 ELEV. = 563.78'

NO.	REVISIONS	DATE	BY

**Kimley-Horn**

© 2025 KIMLEY-HORN AND ASSOCIATES, INC.  
 6800 BURLISON ROAD, BUILDING 312, SUITE 150  
 AUSTIN, TX 78744  
 PHONE: 512-616-8944  
 WWW.KIMLEY-HORN.COM TX F-528

FOR REVIEW ONLY  
Not for construction, bidding, or permit purposes.

**Kimley-Horn**

STEPHANIE TUTT  
Engineer  
P.E. No. 145394 Date Dec-25

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
060007507	DECEMBER 2025	AS SHOWN	RS	RS	ST

BLACKLAND CASEY'S  
PRELIMINARY PLAN

BLACKLAND, TEXAS

**GRADING PLAN**

SHEET NUMBER  
**C-02**

# Parcel Map Check Report

**Client:**

Client

Client Company

Address 1

Date: 12/12/2025 9:44:12 AM

**Prepared by:**

Stan Russell

Kimley-Horn

801 Cherry Street

Parcel Name: BOUNDARY - GROSS

Description: GROSS

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 7,017,982.1210'

East: 2,633,402.9354'

Segment# 1: Line

Course: N45°00'27"E

Length: 84.41'

North: 7,018,041.8000'

East: 2,633,462.6301'

Segment# 2: Line

Course: N88°50'28"E

Length: 221.95'

North: 7,018,046.2890'

East: 2,633,684.5347'

Segment# 3: Line

Course: N79°41'24"E

Length: 26.47'

North: 7,018,051.0264'

East: 2,633,710.5773'

Segment# 4: Line

Course: N88°46'40"E

Length: 542.49'

North: 7,018,062.5978'

East: 2,634,252.9439'

Segment# 5: Line

Course: S29°42'57"E

Length: 39.63'

North: 7,018,028.1794'

East: 2,634,272.5884'

Segment# 6: Line

Course: N88°50'28"E

Length: 39.83'

North: 7,018,028.9850'

East: 2,634,312.4102'

Segment# 7: Line

Course: N29°29'31"E

Length: 40.57'

North: 7,018,064.2981'

East: 2,634,332.3829'

Segment# 8: Line

Course: N88°46'40"E

Length: 170.92'

North: 7,018,067.9438'

East: 2,634,503.2640'

Segment# 9: Line

Course: S43°44'21"W

Length: 793.97'

North: 7,017,494.3047'

East: 2,633,954.3318'

Segment# 10: Line

Course: S88°45'01"W

Length: 560.35'

North: 7,017,482.0835'

East: 2,633,394.1151'

Segment# 11: Line

Course: N1°00'38"E

Length: 500.12'

North: 7,017,982.1257'

East: 2,633,402.9356'

Perimeter: 3,020.71'

Area: 461,336.36Sq.Ft.

Error Closure: 0.0047

Course: N2°16'18"E

Error North : 0.00473

East: 0.00019

Precision 1: 642,704.26



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** January 20, 2026  
**APPLICANT:** Frank Polma, PE of R-Delta Engineers, Inc.  
**CASE NUMBER:** P2025-043; *Final Plat for Lot 1, Block A, REC Pickleball Addition*

---

### SUMMARY

Consider a request by Frank Polma, PE of R-Delta Engineers, Inc. on behalf of Stephen Geiger of Rayburn County Electric Cooperative for the approval of a Final Plat for Lot 1, Block A, REC Pickleball Addition, being a 1.571-acre parcel of land identified as Lot 1, Block A, Estep Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 44 (PD-44) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 2686 S. Goliad Street [SH-205], and take any action necessary.

### PLAT INFORMATION

- Purpose. The applicant is requesting the approval of a Final Plat for a 1.571-acre parcel of land [i.e. Lot 1, Block A, REC Pickleball Addition] for the purpose of dedicating and abandoning easements for the future development of a recreation/sports facility on the subject property.
- Background. The subject property was annexed by the City Council on May 19, 1986 by *Ordinance No. 86-37* [Case No. A1986-005]. According to the City's December 7, 1993 historic zoning map, at some point between the time of annexation and December 7, 1993, the subject property was rezoned from an Agricultural (AG) District to a Commercial (C) District. On March 13, 2003, the City Council approved a Final Plat [i.e. Case No. PZ2003-005] that established the subject property as Lot 1, Block A, Estep Addition. On April 12, 2022, the Planning and Zoning Commission approved a Site Plan [i.e. Case No. SP2022-010] for the purpose of enclosing an existing covered recreational structure to create an *Office Building* on the subject property. According to the Rockwall County Appraisal District (RCAD) there are six (6) structures on the subject property that range in size from 1,120 SF to 7,640 SF and that were constructed circa 2003.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

### CONDITIONS OF APPROVAL

If City Council chooses to approve of the Final Plat for Lot 1, Block A, REC Pickleball Addition, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,

- (2) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**PLANNING AND ZONING COMMISSION**

On January 13, 2026, the Planning and Zoning Commission approved a motion to recommend approval of the Final Plat by a vote of 5-0, with Commissioner Roth absent and one (1) vacant seat.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**STAFF USE ONLY**  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2686 S Goliad St (SH205)

SUBDIVISION Estep Subdivision

LOT 1 BLOCK A

GENERAL LOCATION 615 feet south of Sids Rd

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-44

CURRENT USE Commercial

PROPOSED ZONING

PROPOSED USE Recreation Facility

ACREAGE 1.571

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rayburn County Electric Coop.

APPLICANT R-Delta Engineers Inc

CONTACT PERSON Stephen Geiger

CONTACT PERSON Frank A Polma, P.E.

ADDRESS [REDACTED]

ADDRESS [REDACTED]

CITY, STATE & ZIP [REDACTED]

CITY, STATE & ZIP [REDACTED]

PHONE [REDACTED]

PHONE [REDACTED]

E-MAIL [REDACTED]

E-MAIL [REDACTED]

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Stephen Geiger [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 331.42 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 26<sup>th</sup> DAY OF December, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

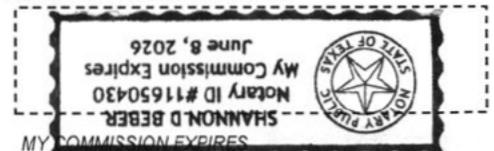
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 26<sup>th</sup> DAY OF December, 2024

OWNER'S SIGNATURE

*[Signature]*

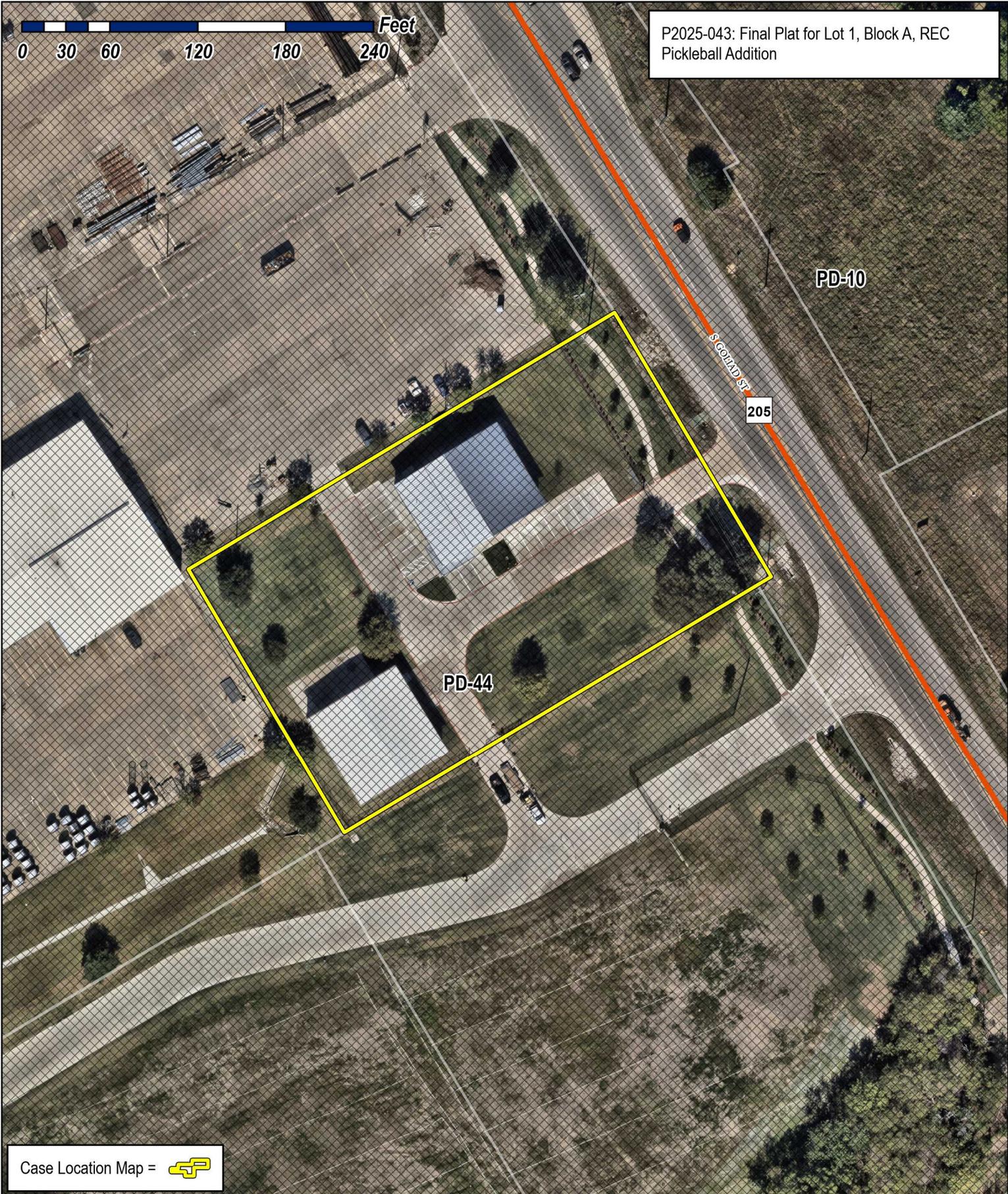
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*[Signature]*





P2025-043: Final Plat for Lot 1, Block A, REC Pickleball Addition



Case Location Map = 

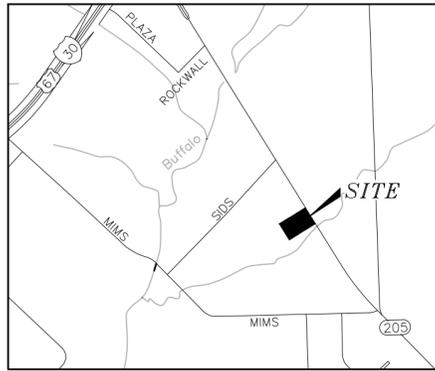


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP  
NOT TO SCALE

LEGEND

- B.L. - Building Line
- CC# - Instrument Number
- CM - Controlling Monument
- R.O.W. - Right-of-Way
- P.O.B. - Point of Beginning
- RDS - 5/8-inch steel rod set with a pink cap stamped "R-DELTA | FIRM 10155000"
- RDR - 5/8-inch steel rod recovered with a pink cap stamped "R-DELTA | FIRM 10155000"
- SRF - Steel rod found
- VOL. - Volume
- PG. - Page

- P.R.R.C.T. - Map Records of Rockwall County, Texas
- O.P.R.R.C.T. - Official Public Records of Rockwall County, Texas
- D.R.R.C.T. - Deed Records of Rockwall County, Texas
- R.R.C.T. - Records of Rockwall County, Texas

NOTES

- Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City does not constitute and representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- Drainage and Detention Easements. Property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane Improvements.
- Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homewoner's Association (HOA).
- The Bearings and Coordinates reported hereon are based on the Texas Coordinate System of 1983, North Central Zone (Zone 4202) as tied to City of Rockwall published control station COR-11.

All reported distances are surface distances. To obtain distances on the projection grid multiply the reported distances by the average combined factor of 0.999853886 as published by TxDOT for Rockwall County, Texas.

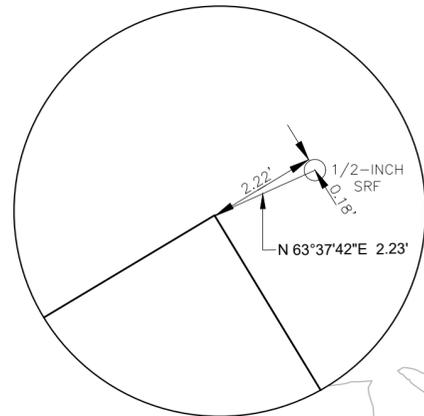
The convergence or mapping angle at the P.O.B. is 1°07'20"

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 30°59'30" E	20.00'
L2	N 59°00'30" E	30.91'

CURVE TABLE					
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	30.00'	90°00'00"	47.13'	S 14°00'30" W	42.43'
C2	30.00'	90°00'00"	47.13'	S 75°59'30" E	42.43'

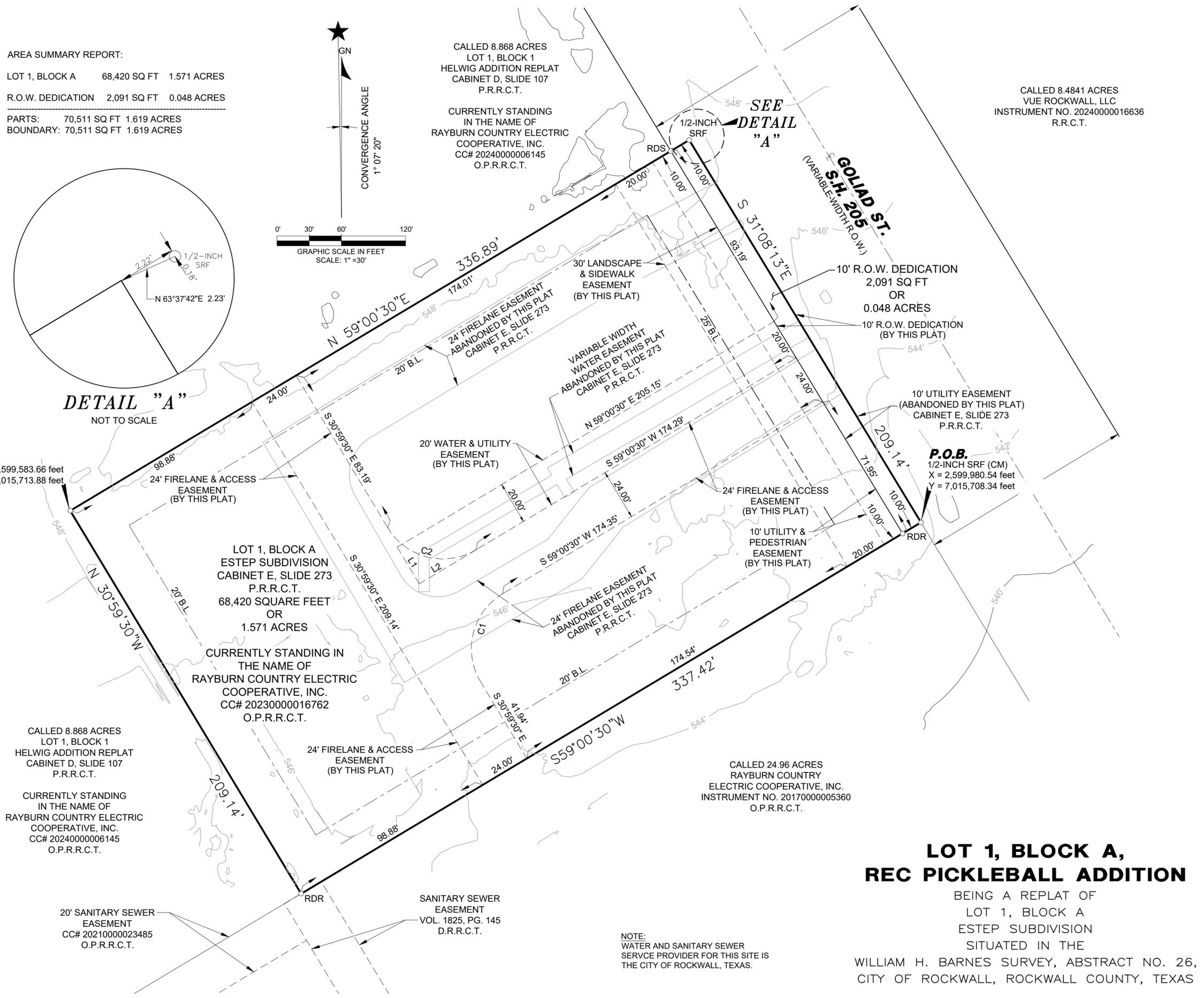
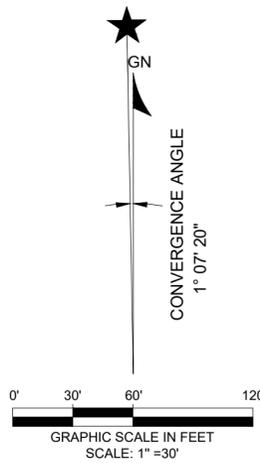
AREA SUMMARY REPORT:

LOT 1, BLOCK A 68,420 SQ FT 1.571 ACRES  
 R.O.W. DEDICATION 2,091 SQ FT 0.048 ACRES  
 PARTS: 70,511 SQ FT 1.619 ACRES  
 BOUNDARY: 70,511 SQ FT 1.619 ACRES



DETAIL "A"  
NOT TO SCALE

RDR  
X = 2,599,583.66 feet  
Y = 7,015,713.88 feet



CALLLED 8.868 ACRES  
 LOT 1, BLOCK 1  
 HELWIG ADDITION REPLAT  
 CABINET D, SLIDE 107  
 P.R.R.C.T.  
 CURRENTLY STANDING  
 IN THE NAME OF  
 RAYBURN COUNTRY ELECTRIC  
 COOPERATIVE, INC.  
 CC# 2024000006145  
 O.P.R.R.C.T.

OWNER:  
 RAYBURN COUNTRY ELECTRIC COOPERATIVE, INC.  
 950 SIDS ROAD  
 ROCKWALL, TEXAS 75032  
 TEL (469) 402-2100

SURVEYOR:  
 R-DELTA ENGINEERS, INC.  
 618 MAIN STREET  
 GARLAND, TEXAS 75042  
 TEL (972) 494-5031

**rdelta**  
 ENGINEERS

618 Main Street  
 Garland, TX 75040  
 Ph. (972) 494-5031  
 Fax (972) 487-2270  
 www.rdelta.com  
 TBPE No. F-1515  
 TBPLS No. 10155000

ENGINEERS, LAND PLANNERS AND LAND SURVEYORS		
DRAWN BY: CBW	CHECKED BY: WCT	SCALE: 1" = 30'
DATE: MARCH 2025	SHEET NO.: 1 of 2	

**LOT 1, BLOCK A,  
 REC PICKLEBALL ADDITION**  
 BEING A REPLAT OF  
 LOT 1, BLOCK A  
 ESTEP SUBDIVISION  
 SITUATED IN THE  
 WILLIAM H. BARNES SURVEY, ABSTRACT NO. 26,  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

NOTE:  
 WATER AND SANITARY SEWER  
 SERVICE PROVIDER FOR THIS SITE IS  
 THE CITY OF ROCKWALL, TEXAS.

RDE PROJECT No. 3036-22

OWNER'S CERTIFICATE

STATE OF TEXAS §  
 COUNTY OF ROCKWALL §

WHEREAS, Rayburn Country Electric Cooperative, Inc. is the sole owner of the following described 1.619-acre tract of land in the William H. Barnes Survey, Abstract No. 26, as described in the Special Warranty Deed dated October 4, 2023, from Kip Estep to Rayburn Country Electric Cooperative, Inc., recorded in Instrument No. 20230000016762 of the Official Public Records of Rockwall County, Texas, and being all of Lot 1, Block "A" of the Estep Subdivision, an addition to the City of Rockwall recorded in Cabinet E, Slide 273 of the Map Records of Rockwall County, Texas, said 1.619-acre tract being more particularly described as follows:

BEGINNING at a 1/2-inch steel rod found at the east corner of said Lot 1, Block "A", Estep Subdivision in the southwesterly Right-of-Way line of State Highway (SH) No. 205 (a/k/a Goliad Street) as described in the RIGHT OF WAY DEED dated the 3rd day of October, 1935, from A. L. Moody, the State of Texas filed in Volume 517, at Page 205 of the Deed Records of Rockwall County, Texas (DRRCT), said 1/2-inch steel rod having coordinates of:  
 X = 2,599,980.54 feet,  
 Y = 7,015,708.34 feet;

THENCE S 59°00'30" W with the south line of said Lot 1, Block A of Estep Subdivision and with the easternmost north line of a 24.96-acre tract of land described in the Warranty Deed dated March 27, 2017, from Osee Properties, LLC to Rayburn Country Electric Cooperative, Inc., recorded in Instrument No. 20170000005360 of the Official Public Records of Rockwall County, Texas, at a distance of 10.00 feet pass a 5/8-inch steel rod recovered with a pink plastic cap stamped "R-DELTA | FIRM 10155000" (hereafter RDR) marking dedicated Right-of-Way and continue on the same course and additional 327.42 feet for a total distance of 337.42 feet to an RDR for the south corner of said Lot 1, Block A of said Estep Subdivision;

THENCE N 30°59'30" W with the west line of said Lot 1, Block A of Estep Subdivision and the most westerly east line of Lot 1, Block A of Helwig Addition Replat, according to the plat thereof recorded in Cabinet D, on Slide 107 of the Plat Records of Rockwall County, Texas, a distance of 209.14 feet to an RDR for the west corner of said Lot 1, Block 1 of Estep Subdivision and an interior ell corner of Lot 1, Block A Helwig Addition Replat;

THENCE N 59°00'30" E with the north line of said Lot 1, Block A of Estep Subdivision and the most northerly south line of said Lot 1, Block A of Helwig Addition Replat, passing at a distance of 326.89 feet a 5/8-inch steel rod set with a pink plastic cap stamped "R-DELTA | FIRM 10155000" marking a 10-foot Right-of-Way dedication to the City of Rockwall and continuing on the same course an additional distance of 10.00 feet for a total distance of 336.89 to a point for the north corner of said Lot 1, Block A of Estep Subdivision, and in the southwesterly Right-of-Way line of said State Highway (SH) No. 205, from which a 1/2-inch steel rod found bears N 63°37'42"E a distance of 2.23 feet;

THENCE S 31°08'13"E with the east line of said Lot 1, Block A Estep Subdivision and with the southwesterly Right-of-Way line of State Highway (SH) No. 205 a distance of 209.14 feet to the POINT OF BEGINNING and containing 70,511 square feet or 1.619 acres of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §  
 COUNTY OF ROCKWALL §

I the undersigned owner of the land shown on this plat, and designated herein as the REC PICKLEBALL ADDITION, an addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the REC PICKLEBALL ADDITION, an addition to the City of Rockwall, Texas, have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

- No buildings shall be constructed or placed upon, over, or across the off-site and on-site utility easements as described herein.
- Any public utility shall have the right to removed and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency to their respective system on any of these easement strips; any and all public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development. The property owner shall be responsible for maintenance of detention ponds and easements.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

Rayburn Country Electric Cooperative, Inc.  
 Stephen Geiger,

STATE OF TEXAS §  
 COUNTY OF ROCKWALL §

Before me, the undersigned authority, on this day personally appeared Stephen Geiger, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_\_ day of

\_\_\_\_\_, 2025.

Notary Public for and in the State of Texas

My commission expires: \_\_\_\_\_

SURVEYOR'S CERTIFICATE

STATE OF TEXAS §  
 COUNTY OF DALLAS §

THAT I, Wayne C. Terry, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

FOR REVIEW ONLY



Wayne C. Terry  
 Registered Professional Land Surveyor  
 Registration No. 4184

STATE OF TEXAS §  
 COUNTY OF DALLAS §

Before me, the undersigned authority, on this day personally appeared Wayne C. Terry, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_\_ day of

\_\_\_\_\_, 2025.

Notary Public for and in the State of Texas

My commission expires: \_\_\_\_\_

STATE OF TEXAS §  
 COUNTY OF ROCKWALL §

APPROVED:  
 I hereby certify that the above and foregoing subdivision plat being an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall, Texas on the \_\_\_\_ day of \_\_\_\_\_, 2025.

Mayor of the City of Rockwall

Planning and Zoning Commission Chairman

City Secretary

City Engineer

**LOT 1, BLOCK A,  
 REC PICKLEBALL ADDITION**

BEING A REPLAT OF  
 LOT 1, BLOCK A  
 ESTEP SUBDIVISION  
 SITUATED IN THE

WILLIAM H. BARNES SURVEY, ABSTRACT NO. 26,  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER:  
 RAYBURN COUNTRY ELECTRIC COOPERATIVE, INC.  
 950 SIDS ROAD  
 ROCKWALL, TEXAS 75032  
 TEL (469) 402-2100

SURVEYOR:  
 R-DELTA ENGINEERS, INC.  
 618 MAIN STREET  
 GARLAND, TEXAS 75042  
 TEL (972) 494-5031

RDE PROJECT No. 3036-22

	618 Main Street Garland, TX 75040 Ph. (972) 494-5031 Fax (972) 487-2270 www.rdelta.com TBPE No. F-1515 TBPLS No. 10155000		ENGINEERS, LAND PLANNERS AND LAND SURVEYORS
	DRAWN BY: CBW	CHECKED BY: WCT	SCALE: 1" = 30'
DATE: MARCH 2025		SHEET NO.: 2 of 2	



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Mayor and City Council

**DATE:** January 20, 2026

**APPLICANT:** Brierre Cathey

**CASE NUMBER:** Z2025-074; *Specific Use Permit for a Restaurant with less than 2,000 SF with Drive-Through or Drive-In at 1011 S. Goliad Street (5013 Coffee)*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Brierre Cathey on behalf of Mike Rodgers for the approval of a Specific Use Permit (SUP) for a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* on a 0.3480-acre tract of land identified as Lots 10 & 11 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1011 S. Goliad Street [SH-205], and take any action necessary.

### BACKGROUND

Based on the City's annexation ordinances, the subject property was annexed prior to June 20, 1959. According to the City's *Historic Zoning Maps*, the subject property was zoned Commercial (C) District as of January 3, 1972 and this designation has not changed. A demolition permit [*i.e. BLD2018-0180*] was issued by the Building Inspections Department on January 24, 2018 for the removal of a 3,100 SF building. The subject property is currently vacant.

### PURPOSE

The applicant -- *Brierre Cathey* -- is requesting the approval of a Specific Use Permit (SUP) to allow for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located at 1011 S. Goliad Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are three (3) parcels of land [*i.e. 1001, 1003, & 1009 S. Goliad Street*] developed with a restaurant [*i.e. Sonic*] and two (2) retail businesses [*i.e. Main Street Consignment and Scorpion Smoke Shop*]. All of these properties are zoned Commercial (C) District. Beyond this is Emma Jane, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a 0.8427-acre parcel of land [*i.e. 1013 S. Goliad Street*] developed with a retail business [*i.e. Ace Hardware*]. This property is zoned Commercial (C) District. Beyond this is Sam Houston Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a vacant 0.135-acre parcel of land [*i.e. part of Block B of the Canup Addition*]. East of this are three (3) parcels of land [*i.e. 1006, 1008, & 1010 Sam Houston*] which consist of two (2) single-family homes and one (1) vacant lot. All of these properties are zoned Single-Family 7 (SF-7) District. Beyond this is Sam Houston Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Ridge Road, which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this is the L&W Subdivision, which consists of 13 residential lots, and has been in existence since 1949.

### **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted an application and a concept plan requesting a Specific Use Permit (SUP) for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In* for the purpose of establishing a restaurant (*i.e. 5013 Coffee*). The concept plan shows that the proposed restaurant will be approximately 504 SF, with an additional 420 SF covered patio. The design includes a drive-through lane that begins on the south side of the building and leads to a pickup window. The request appears to meet all of the *Residential Adjacency Standards*, but will be required to provide additional landscaping and headlight screening along the northern property line, three (3) tiered screening adjacent to the eastern property line, and a *built-up* berm a minimum of 24-inches in height along the back of the property.

### **CONFORMANCE WITH THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC), defines a *Restaurant with Drive Through or Drive-In* as "(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises." In this case, the applicant's proposed business – *5013 Coffee* – falls under this classification. The subject property is required to meet the Commercial (C) District land uses, and according to the *Permissible Use Charts* contained in Article 04, *Permitted Uses*, of the Unified Development Code (UDC), a *Restaurant with Drive Through or Drive-In* requires a Specific Use Permit (SUP) in a Commercial (C) District. The purpose of this requirement is to acknowledge that not all *Restaurant* operations, less than 2,000 SF, with drive-throughs or drive-ins are appropriate within the City's Commercial (C) Districts, and that the City Council should have discretionary oversight with regard to the types of *Restaurant* operations and their impacts within these types of districts. In addition, Subsection 02.03(f)(9) places the following additional conditions on this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles.

The applicant's request does appear to conform to the requirements stipulated by the Unified Development Code (UDC); however, staff has incorporated additional operational conditions in order to maintain compliance with this Specific Use Permit (SUP) ordinance. These include additional landscaping and headlight screening along the northern property line as well as three (3) tiered screening (*i.e. one [1] row of canopy trees, one [1] row of accent trees and large shrubs, and one [1] row of lower level shrubs*) adjacent to the eastern property line (*adjacent to the existing residentially zoned or used properties*). In addition, a *built-up* berm a minimum of 24-inches in height shall be required along the back of the property. These items, along with the building elevations, will be reviewed for conformance by the Planning and Zoning Commission at the time of Site Plan approval.

### **STAFF ANALYSIS**

The intent of the Commercial (C) District is to accommodate most forms of commercial development, such as large shopping centers at major intersections and commercial corridors along arterial roads. Permitted uses primarily include office and retail activities, with limited allowances for certain wholesale operations. The district generally excludes uses that would fall into the Heavy Commercial (HC) District category. When commercial development is located near residential areas, appropriate buffering and mitigation measures are required to address potential impacts such as noise, traffic, litter, late operating hours, and other neighborhood concerns. Since the Commercial (C) District is general in nature, the development standards are less

stringent and do not require as high of standards of development as the Residential-Office (RO), Neighborhood Services (NS) and General Retail (GR) Districts. When reviewing this case, the proposed land use appears appropriate for the location, as the subject property is situated within a commercial corridor and in close proximity to S. Goliad Street (SH-205) [*which is identified as a principal arterial, six [6] lane, divided roadway*] on the City's Master Thoroughfare Plan. With this being said, approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## **NOTIFICATIONS**

On December 16, 2025, staff mailed 91 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Highridge Estates Homeowner's Association (HOA), which is the only HOA/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received two (2) notices in favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) for a *Restaurant with less than 2,000 SF with Drive-Through or Drive-In*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
  - (b) The development of the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance; however, these elevations shall be subject to review and recommendation by the Architectural Review Board (ARB) at the time of Site Plan approval. In addition, any variances to the *General Overlay District Standards* as specified in Article 05, *District Development Standards*, of the Unified Development Code (UDC) shall be required to be approved by the Planning and Zoning Commission at the time of Site Plan approval.
  - (c) Additional landscaping and headlight screening shall be required along the northern property line. This shall be reviewed by the Planning and Zoning Commission at the time of Site Plan approval.
  - (d) Three (3) tiered screening (*i.e. one [1] row of canopy trees, one [1] row of accent trees and large shrubs, and one [1] row of lower level shrubs*) shall be required adjacent to the eastern property line (*adjacent to the existing residentially zoned or used properties*). In addition, a *built-up* berm a minimum of 24-inches in height shall be required along the back of the property. These items will be reviewed for conformance by the Planning and Zoning Commission at the time of Site Plan approval.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## **PLANNING AND ZONING COMMISSION**

On January 13, 2026, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use permit (SUP) by a vote of 5-0, with Commissioner Roth absent and one (1) vacant seat.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
  - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
  - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
  - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1011 S Goliad  
 SUBDIVISION: Canup's  
 GENERAL LOCATION: \_\_\_\_\_  
 LOT: 10311 BLOCK: \_\_\_\_\_

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: C Commercial CURRENT USE: Vacant  
 PROPOSED ZONING: SUP PROPOSED USE: Drive-Thru coffee structure  
 ACREAGE: 15,159 SF LOTS [CURRENT]: \_\_\_\_\_ LOTS [PROPOSED]: \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	_____	<input type="checkbox"/> APPLICANT	5013 coffee properties
CONTACT PERSON	_____	CONTACT PERSON	Brienne Cathey
ADDRESS	_____	ADDRESS	_____
CITY, STATE & ZIP	_____	CITY, STATE & ZIP	_____
PHONE	_____	PHONE	_____
E-MAIL	_____	E-MAIL	_____

### NOTARY VERIFICATION [REQUIRED]

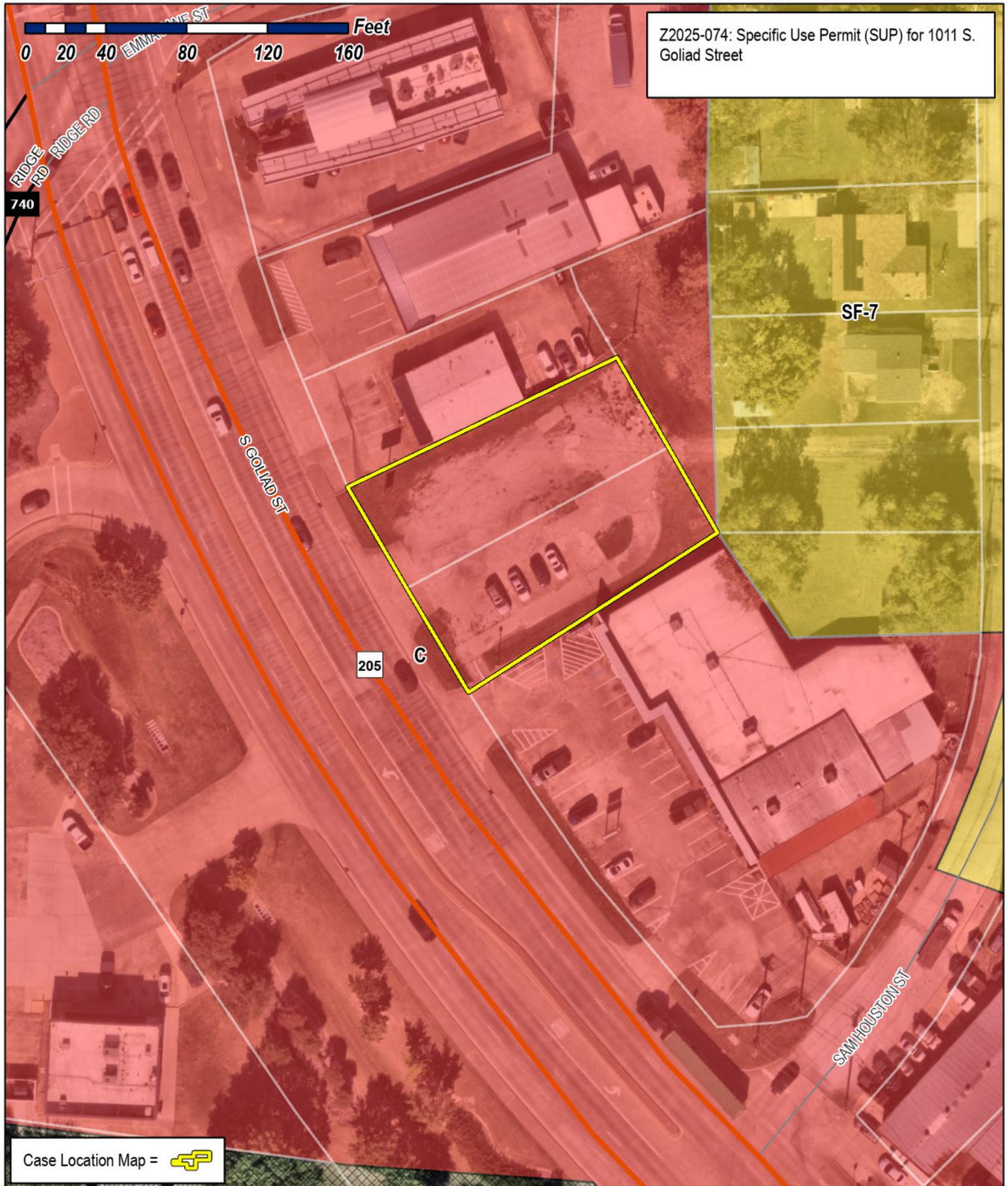
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Rogers [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5<sup>th</sup> DAY OF November 2025  
OWNER'S SIGNATURE: Mike Rogers

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Kathryn D English





Z2025-074: Specific Use Permit (SUP) for 1011 S. Goliad Street

SF-7

205 C

Case Location Map =



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

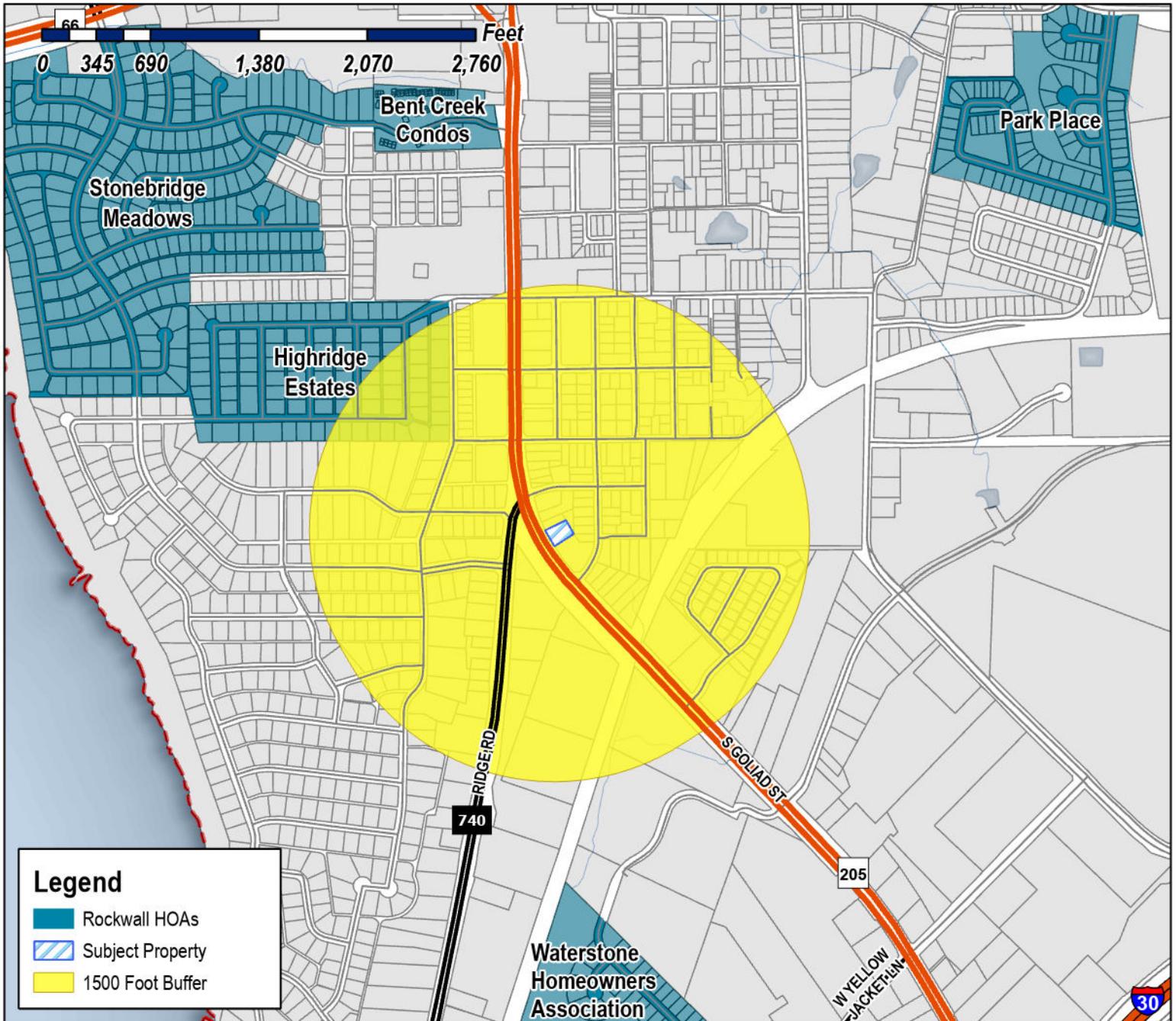




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**Case Number:** Z2025-074  
**Case Name:** Specific Use Permit (SUP) for a Restaurant Less than 2,000 SF with Drive-Through  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** 1011 S. Goliad Street

**Date Saved:** 12/15/2025  
 For Questions on this Case Call (972) 771-7745



**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)  
**Subject:** Neighborhood Notification Program [Z2025-074]  
**Date:** Wednesday, December 17, 2025 1:16:40 PM  
**Attachments:** [Public Notice \(12.16.2025\).pdf](#)  
[HOA Map \(12.15.2025\).pdf](#)

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HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, December 19, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, January 13, 2026 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, January 20, 2026 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-  
Z2025-074: SUP for a Restaurant Less than 2,000 SF with Drive-Through

Hold a public hearing to discuss and consider a request by Brierre Cathey on behalf of Mike Rodgers for the approval of a [Specific Use Permit \(SUP\)](#) for a Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In on a 0.3480-acre tract of land identified as Lots 10 & 11 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1011 S. Goliad Street [SH-205], and take any action necessary.

*Melanie Zavala*

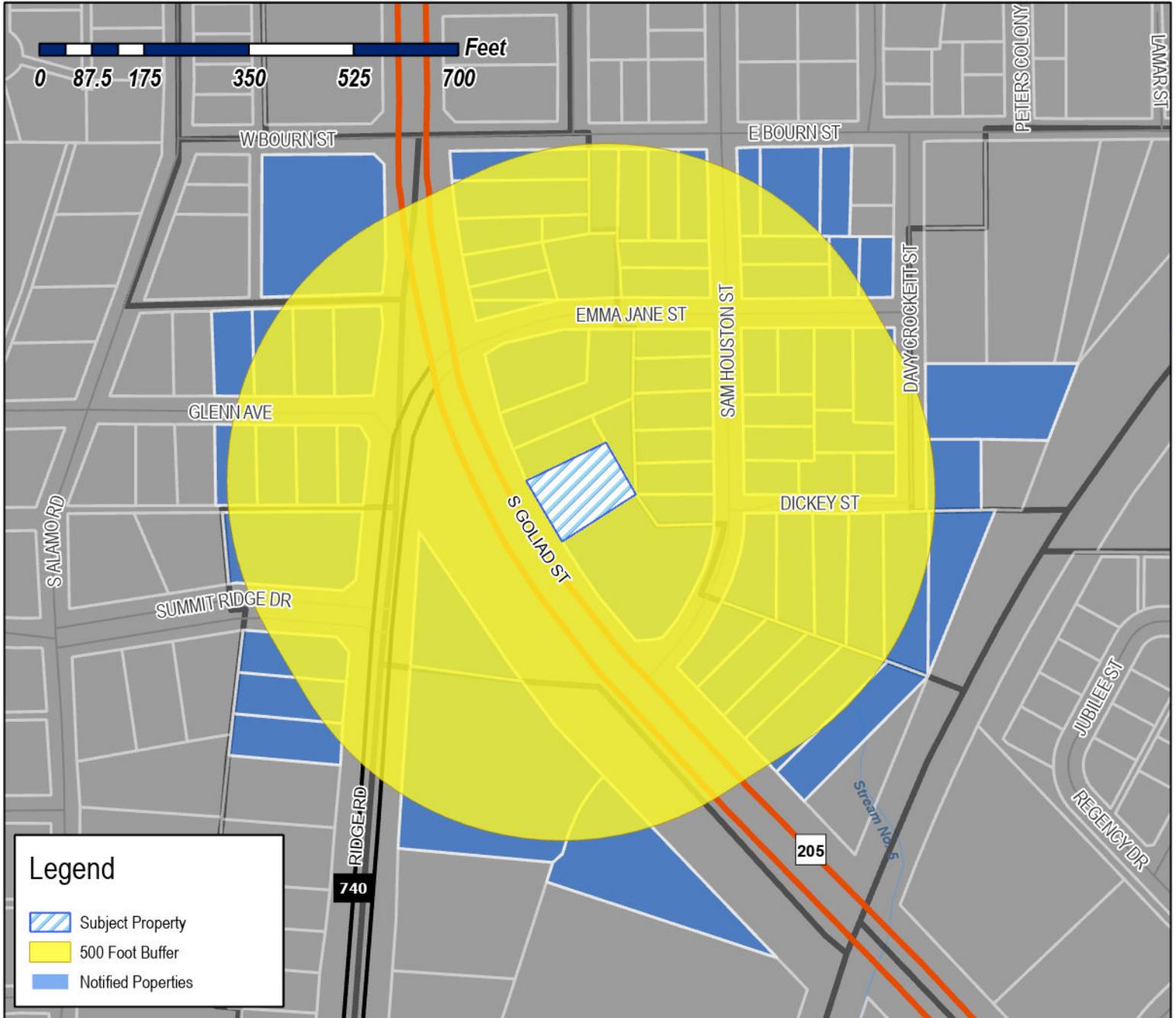
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568



# City of Rockwall

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385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2025-074  
**Case Name:** Specific Use Permit (SUP) for a Restaurant Less than 2,000 SF with Drive-Through  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** 1011 S. Goliad Street

**Date Saved:** 12/15/2025

For Questions on this Case Call: (972) 771-7745



RESIDENT  
1001 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
1002 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1003 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
1005 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
1006 DAVY CROCKETT  
ROCKWALL, TX 75087

RESIDENT  
1006 RIDGE RD  
ROCKWALL, TX 75087

MALAVE BRENDA L  
1006 SAM HOUSTON ST  
ROCKWALL, TX 75087

RESIDENT  
1007 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1007 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
1008 DAVY CROCKETT  
ROCKWALL, TX 75087

RESIDENT  
1008 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1008 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
1009 S GOLIAD  
ROCKWALL, TX 75087

CASTILLO PEDRO  
1009 SAM HOUSTON ST  
ROCKWALL, TX 75087

RESIDENT  
101 GLENN AVE  
ROCKWALL, TX 75087

RESIDENT  
1010 SAM HOUSTON  
ROCKWALL, TX 75087

PREGNANCY RESOURCE CENTER OF LAKE RAY  
HUBBARD  
1010 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1011 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
1011 S GOLIAD ST  
ROCKWALL, TX 75087

RESIDENT  
1012 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
1013 S GOLIAD  
ROCKWALL, TX 75087

CANGIANO COSIMO JEFFREY  
102 GLENN AVE  
ROCKWALL, TX 75087

HOWARD DUSTIN AND  
JAMES R HOWARD  
103 GLENN AVENUE  
ROCKWALL, TX 75087

BCL REAL ESTATE LLC  
103 GROSS RD  
MESQUITE, TX 75149

RESIDENT  
104 GLENN AVE  
ROCKWALL, TX 75087

GE QIQING AND  
JINGJING ZHANG  
105 COYOTE BRUSH  
IRVINE, CA 92618

FEAZELL SARA DEANNE & RICKEY  
105 GLENN AVE  
ROCKWALL, TX 75087

RESIDENT  
106 GLENN AVE  
ROCKWALL, TX 75087

RIDGE ROAD PARTNERS LP  
106 E Rusk St Ste 200  
Rockwall, TX 75087

FOWLKES BRETT  
107 Glenn Ave  
Rockwall, TX 75087

RESIDENT  
108 GLENN AVE  
ROCKWALL, TX 75087

RESIDENT  
1101 RIDGE RD  
ROCKWALL, TX 75087

RESIDENT  
1101 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
1105 S GOLIAD  
ROCKWALL, TX 75087

ERVIN PROPERTIES LLC  
1155 W Wall St Ste 101  
Grapevine, TX 76051

RESIDENT  
1201 RIDGE RD  
ROCKWALL, TX 75087

ANDERSON ALLEN  
1208 S LAKESHORE DR  
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED  
MAY 16TH, 2017  
MICHAEL WAYNE ROGERS- TRUSTEE  
1404 RIDGE ROAD  
ROCKWALL, TX 75087

EFENEY WILLIAM M  
1406 S LAKESHORE DR  
ROCKWALL, TX 75087

RB CAPITAL LTD  
1602 Shadywood Ln  
Mt Pleasant, TX 75455

GEHRING CAROLYN S  
1745 LAKE BREEZE DR  
ROCKWALL, TX 75087

RERV ACQUISITIONS LLC  
1748 BAY WATCH DR  
ROCKWALL, TX 75087

BATRES MARIA DELL REFUGIO  
202 BOURN STREET  
ROCKWALL, TX 75087

LRG GROUP LLC  
202 E RUSK ST  
ROCKWALL, TX 75087

KIM RENEE TIMPA MARITAL TRUST NO 1  
202 N San Jacinto St  
Rockwall, TX 75087

RESIDENT  
204 BOURN  
ROCKWALL, TX 75087

RIVERA JAIME & MARIA  
204 E BOURN ST  
ROCKWALL, TX 75087

MIMS KATHY  
206 E BOURN ST  
ROCKWALL, TX 75087

RESIDENT  
206-207 EMMA JANE ST  
ROCKWALL, TX 75087

RESIDENT  
208 EMMA JANE ST  
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE  
208 E BOURN ST  
ROCKWALL, TX 75087

RESIDENT  
302 EMMA JANE  
ROCKWALL, TX 75087

CONFIA HOMES LLC  
302 BOURN  
ROCKWALL, TX 75087

RESIDENT  
304 EMMA JANE  
ROCKWALL, TX 75087

HERNANDEZ SAMUEL AND VANESSA TYSON-  
HERNANDEZ  
304 E Bourn St  
Rockwall, TX 75087

RESIDENT  
306 BOURN AVE  
ROCKWALL, TX 75087

ELLERD TERESA  
308 EMMA JANE ST  
ROCKWALL, TX 75087

BONNER JACK L AND VALERIE N  
309 EMMA JANE ST  
ROCKWALL, TX 75087

RESIDENT  
310 EMMA JANE  
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK  
313 STONEBRIDGE DR  
ROCKWALL, TX 75087

BROBOANA BIANCA SINGEORZAN  
3948 SUNLEAF AVE  
MEDFORD, OR 97504

CG HOLDINGS LLC  
4 SUNSET TR  
HEATH, TX 75032

JONES LENA EST  
C/O CHARLES R HUMPHREY  
405 ER ELLIS  
ROCKWALL, TX 75087

LIU HOWARD HEYUN  
4577 JAGUAR DR  
PLANO, TX 75024

MATHIS DEBRA L  
504 DICKEY ST  
ROCKWALL, TX 75087

RESIDENT  
506 DICKEY ST  
ROCKWALL, TX 75087

RODRIGUEZ MARIA  
507 DICKEY ST  
ROCKWALL, TX 75087

RESIDENT  
508 DICKEY ST  
ROCKWALL, TX 75087

BROWN GEORGIA  
508 DICKEY ST  
ROCKWALL, TX 75087

SALGADO HAROLD G  
510 DICKIE ST  
ROCKWALL, TX 75087

WAFFER JULIUS  
512 DICKEY ST  
ROCKWALL, TX 75087

TIMPA KIM  
633 MORAIN WAY  
HEATH, TX 75032

BRANNON ERMA LEE EST AND  
MARVIN RAY BRANNON ETAL  
6819 CLIFFWOOD DR  
DALLAS, TX 75237

EMMANUEL TABERNACLE CHURCH  
7903 FERGUSON RD  
DALLAS, TX 75228

8661 S HAMPTON LLC  
805 Green Pond Dr  
Garland, TX 75040

RUSZKOWSKI SKYLER E  
8127 E COLUMBUS AVE  
SCOTTSDALE, AZ 85251

JPH ROCKWALL LLC  
901 DAVY CROCKETT STREET  
ROCKWALL, TX 75087

RESIDENT  
901 S GOLIAD  
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN  
902 LAKE MEADOWS DR  
ROCKWALL, TX 75087

RESIDENT  
903 DAVY CROCKETT  
ROCKWALL, TX 75087

GOAT GENERAL CONTRACTING LLC  
KEVIN W. VICE  
903 DAVY CROCKETT ST  
ROCKWALL, TX 75087

G O A T GENERAL CONTRACTING, LLC  
903 DAVY CROCKETT ST  
ROCKWALL, TX 75087

RESIDENT  
903 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
905 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
906 S GOLIAD @ BOURN  
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO  
906 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
907 SAM HOUSTON  
ROCKWALL, TX 75087

RESIDENT  
907 S GOLIAD  
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA  
9922 Donegal Dr  
Dallas, TX 75218

CORRIGANCOWAN LLC  
PO BOX 2256  
ROCKWALL, TX 75087

OWENS RICHARD DUANE  
905 SAM HOUSTON  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2025-074: SUP for a Restaurant Less than 2,000 SF with Drive Through**

Hold a public hearing to discuss and consider a request by Brierre Cathey on behalf of Mike Rodgers for the approval of a *Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In on a 0.3480-acre tract of land identified as Lots 10 & 11 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1011 S. Goliad Street [SH-205], and take any action necessary.*

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 13 2026 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 20, 2026 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 20, 2026 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2025-074: SUP for a Restaurant Less than 2,000 SF with Drive Through**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name: [Grey box]  
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# ZONING & SPECIFIC USE PERMIT INFORMATION FORM



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

CASE NUMBER Z2025-074

PLEASE PLACE A CHECK MARK ON THE APPROPRIATE LINE BELOW.

- I am in favor of the request
- I am in opposition of the request

NAME Brett Fowlkes

ADDRESS

PLEASE PROVIDE ANY ADDITIONAL INFORMATION CONCERNING YOUR SUPPORT OR OPPOSITION TO THE REQUEST.

N/A

PLEASE CHECK ALL THAT APPLY.

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

HOW DID YOU HEAR ABOUT THIS ZONING OR SPECIFIC USE PERMIT (SUP) REQUEST?

- I received a property owner notification in the mail
- I read about the request on the City's website
- I saw a zoning sign on the property
- I read about the request in the Rockwall Herald Banner
- My neighbors told me about the request
- Other:

Case No. Z2025-074: SUP for a Restaurant Less than 2,000 SF with Drive Through

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[REDACTED]

Name:

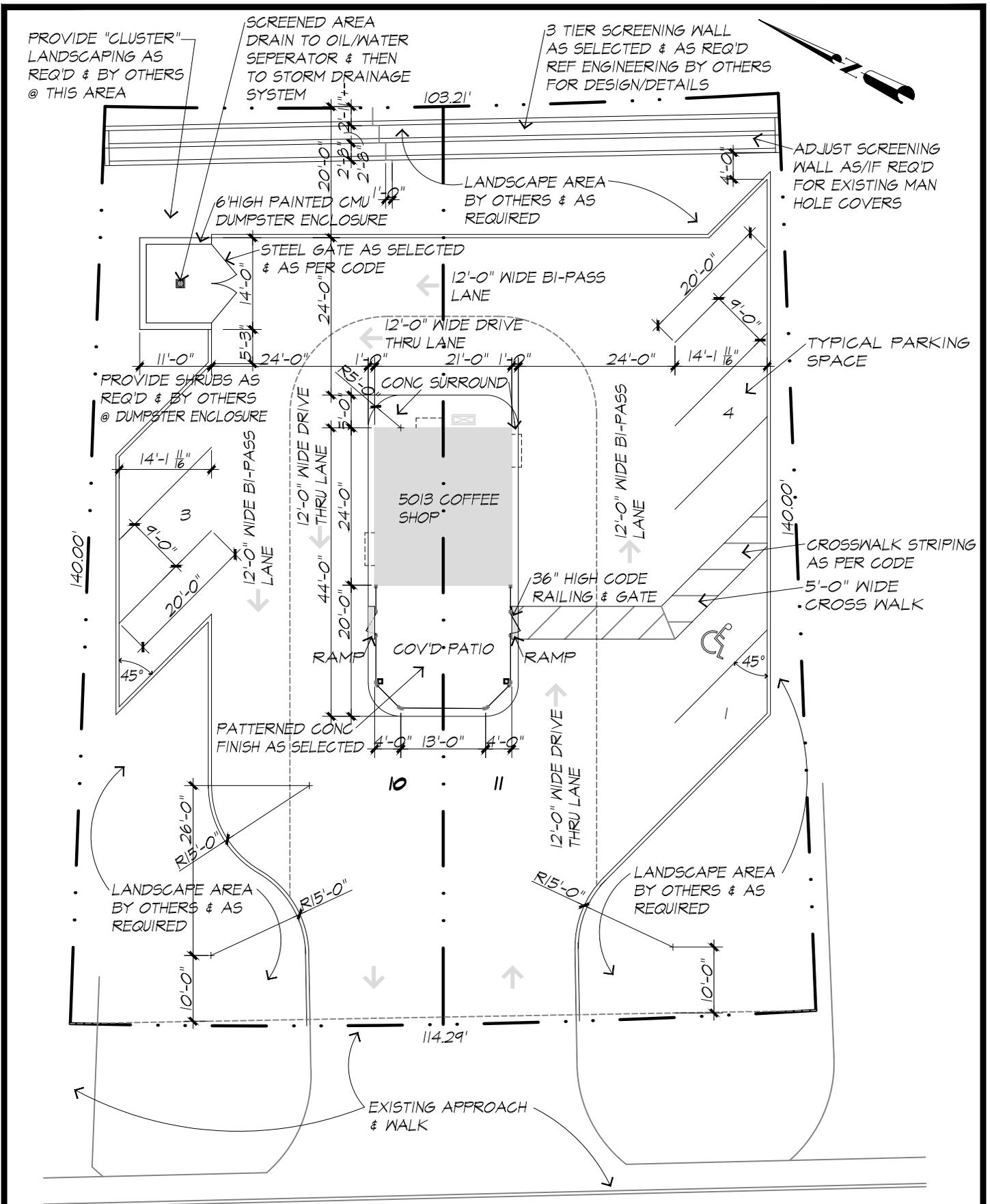
MIKE ROGERS (ACE HARDWARE)

Address:

[REDACTED]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



GENERAL NOTES
* REF CIVIL ENGINEERING BY OTHERS FOR ALL FINISH GRADES & REQUIRED DRAINAGE
* REF LANDSCAPE DESIGN DRAWINGS BY OTHERS FOR ALL REQUIRED LANDSCAPING
* SEE OWNER FOR SIGNAGE OPTIONS & DESIGN
* TOTAL STANDARD 9'X20' PARKING = 8 SPACES
* TOTAL ADA ACCESSIBLE PARKING = 1 SPACES
* TOTAL PARKING = 9 SPACES
TOTAL PAVING AS SHOWN = 9826.66 SF
PATIO AREA WITHIN FENCE = 383.00 SF

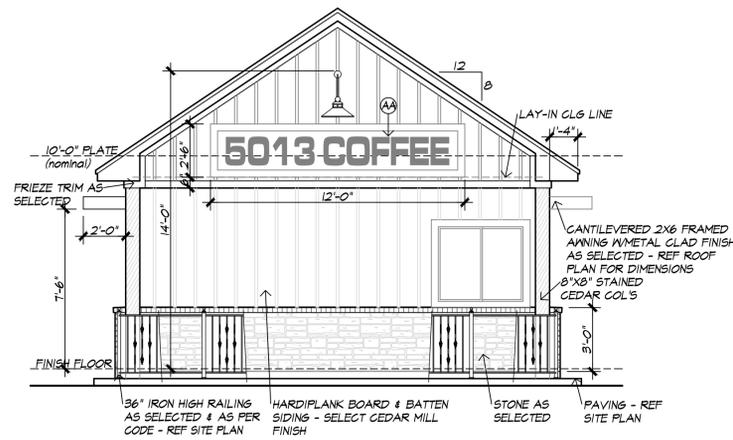
1011 S. GOLIAD STREET

PLAN #C-5013-CS  
DATE: 1/x/2026

<b>SITE PLAN</b>	SCALE: 1" = 20'-0"
LOT 10 & 11	
CANUP'S SUBDIVISION	
ROCKWALL, TEXAS	

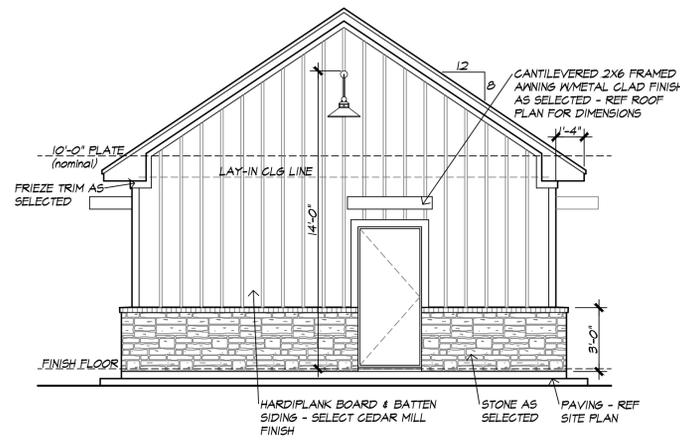
**M. Rouse Designs**  
 2307 HIGH RIDGE  
 SACHSE, TEXAS 75048  
 (214) 801-9944  
 mrousedesigns.com  
 "WHERE DESIGN EXCELLENCE BEGINS"  
 COPYRIGHT 2026 - M. Rouse Designs - ALL RIGHTS RESERVED

PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.



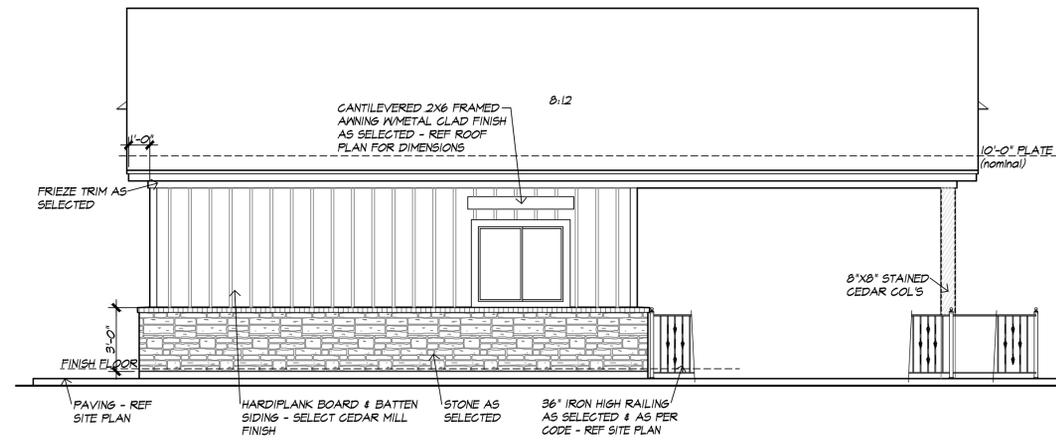
**FRONT ELEVATION**

SCALE 1/4"=1'-0"  
25.19% STONE



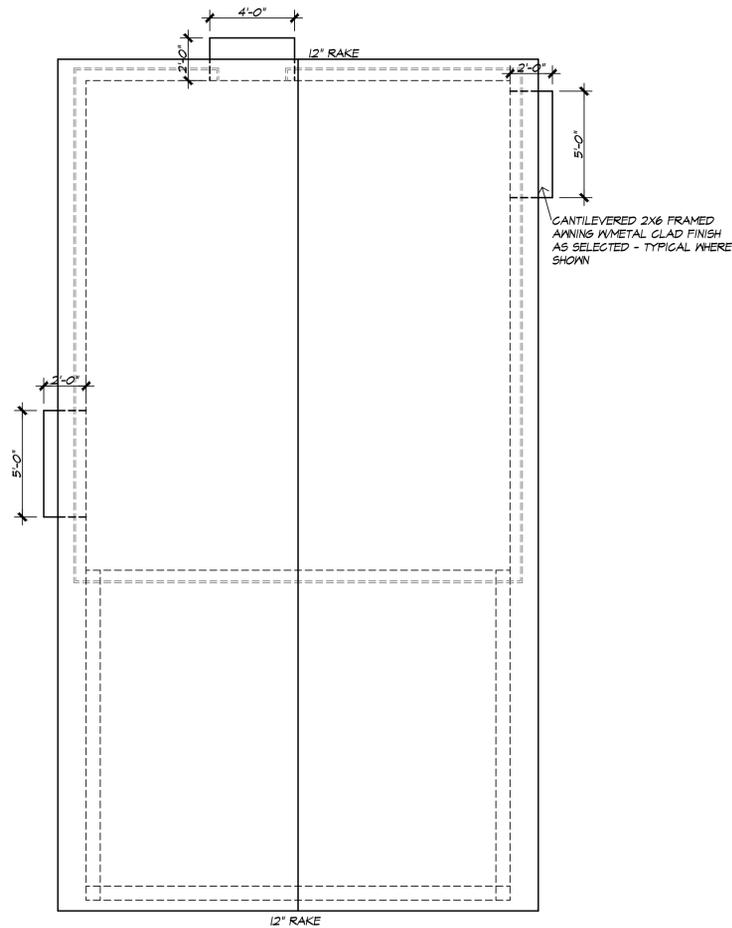
**REAR ELEVATION**

SCALE 1/4"=1'-0"  
22.12% STONE



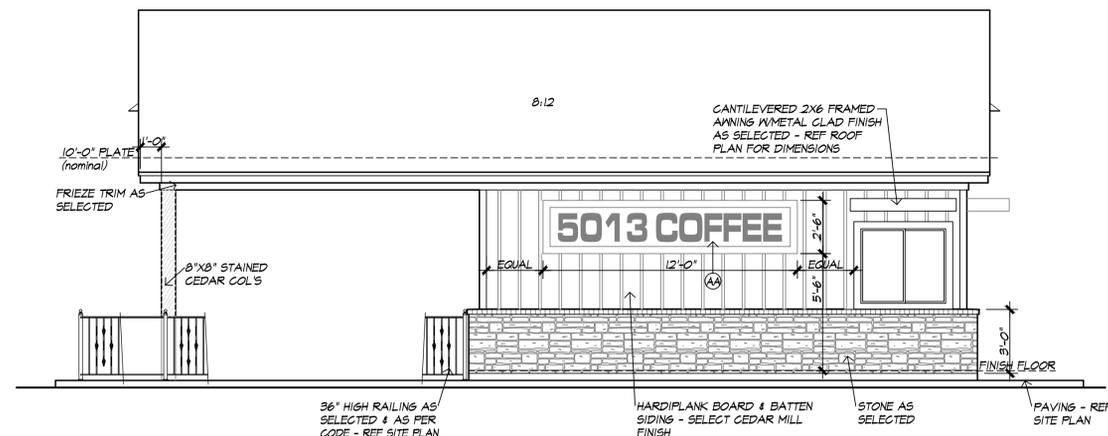
**LEFT SIDE ELEVATION**

SCALE 1/4"=1'-0"  
36.3% STONE



**ROOF PLAN**

- SCALE 1/4"=1'-0"
- ROOF AS SPECIFIED @ 8:12 UNLESS NOTED
  - SCREENED CORNICE VENTS AS PER CODE
  - ATTIC VENTILATION AS PER CODE & AS SELECTED
  - GUTTERS & DOWNSPOUTS STYLE & LOCATIONS, IF ANY, TO BE AS SELECTED
  - 10'-0" PLATE (NOMINAL)
  - RAFTER & RIDGE FRAMING MEMBER SIZING TO BE AS PER CURRENT GOVERNING CODES



**RIGHT SIDE ELEVATION**

SCALE 1/4"=1'-0"  
36.3% STONE

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

**5013 COFFEESHOP**  
**1011 S. GOLIAD ST.**  
**ROCKWALL, TX**

*M. Rouse Designs*  
2307 HIGHRIDGE  
SACHSE, TEXAS 75048  
(214) 801-9944  
mrouse@designs.com

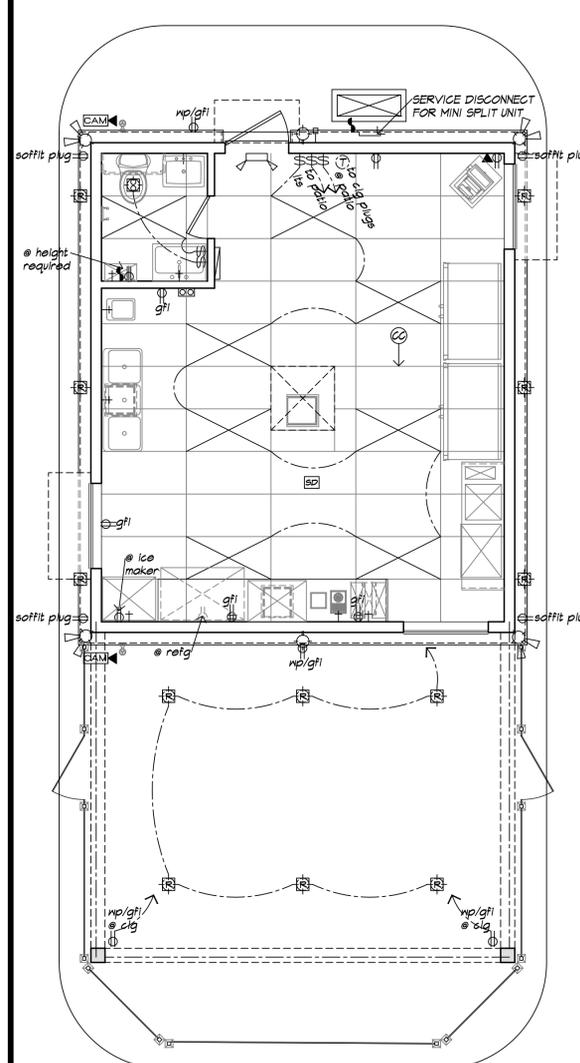
REVISED DATE

SHEET  
A2

DESIGN NUMBER  
C-5013-CS

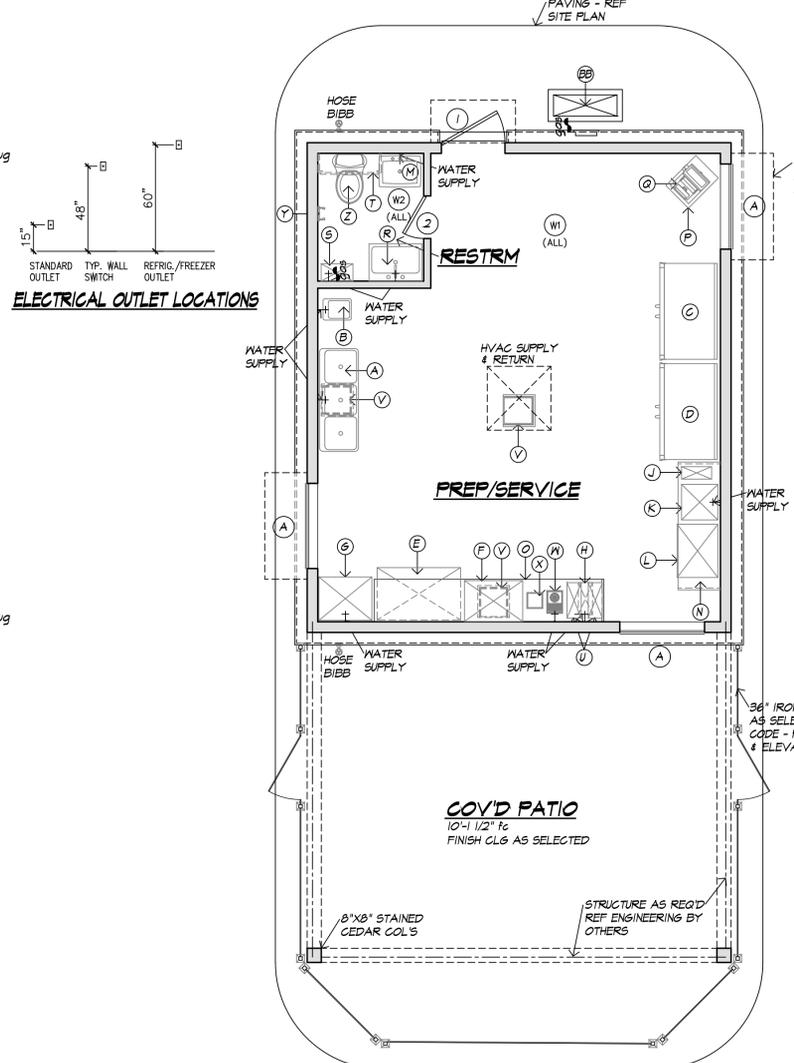
of these construction documents and shall notify MROUSE DESIGNS of any discrepancies and/or the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor shall they be used for any other purpose. MROUSE DESIGNS shall not be responsible for any construction and it shall be his/her responsibility to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the applicable IBC, ASCE Codes and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of the structure. MROUSE DESIGNS, its members, and its partners, recommends that these construction documents be reviewed by a qualified professional engineer.

MROUSE DESIGNS, 2100 E. LEVITT DR. #100, ROCKWALL, TX 75087  
COPYRIGHT 2025 - MROUSE DESIGNS - ALL RIGHTS RESERVED



**REFLECTIVE CLG/LIGHTING & ELECTRICAL PLAN**  
 SCALE 1/4"=1'-0"  
 NOTE:  
 FINAL SELECTION & PLACEMENT OF ALL INTERIOR & EXTERIOR LIGHTING & ELECTRICAL AS PER BUILDER/OWNER AGREEMENT

LIGHTING/ELECTRICAL LEGEND			
SYMBOL	DESCRIPTION	NO.	NOTES:
[Symbol]	ELECTRIC PANEL	1	AS REQUIRED BY CODE
[Symbol]	4" RECESSED SOFFIT LIGHT	12	AS SELECTED & ON TIMER
[Symbol]	DOUBLE FLOOD LIGHT	4	AS SELECTED & ON MOTION SENSOR
[Symbol]	WALL MOUNT BARN LIGHT	2	AS SELECTED & ON TIMER/REF ELEVATIONS
[Symbol]	C.C. CAMERA	2	AS SELECTED
[Symbol]	2'x4' RECESSED FLUORESCENT FIXTURE	7	2'x4' RECESSED FLUORESCENT FIXTURE, 3-T8 LAMPS, 32 WATTS - SAFETY WIRES REQUIRED ON DIAGONALLY OPPOSING CORNERS OF 2'x4' LAY-IN FIXTURES. WIRES MUST BE INDEPENDENT OF CEILING GRID
[Symbol]	STANDARD TELE/DATA OUTLET	1	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STD QUADRUPEX OUTLET	3	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STD 220/240 OUTLET	1	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STANDARD WEATHERPROOF/GFI DUPLEX OUTLET	4	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STD DUPLEX OUTLET	10	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STANDARD GFI DUPLEX OUTLET	2	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	STANDARD SWITCH	4	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	RECESSED EXHAUST FAN	1	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	THERMOSTAT	1	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	SMOKE DETECTOR	1	AS SELECTED & AS REQUIRED BY CODE
[Symbol]	EMERGENCY LIGHTING/EXIT	1	EXTERIOR EXIT LIGHTS SHALL HAVE A MINIMUM 90 MINUTE BATTERY BACK-UP POWER FOR EMERGENCY USE



**NOTATION/FIXTURE PLAN**  
 SCALE 1/4"=1'-0"  
 COFFEE SHOP 504 SF  
 COVERED PATIO 383 SF

- FRAMING NOTES**
- REFER TO STRUCTURAL ENGINEERING DRAWINGS BY OTHERS FOR ALL STATIC & DYNAMIC DESIGN SELECTIONS OF MATERIAL USE & ASSEMBLY OF ALL ELEMENTS INCLUDING BUT NOT LIMITED TO ALL HORIZONTAL & VERTICAL FRAMES, COLUMN PLATES, CONNECTORS, BEAMS, WALLS, PLATES, PENETRATIONS, ROOF FRAMING, WIND BRACING, DRAINAGE & CONNECTIONS
  - FOUNDATION DESIGN BY OTHERS TO RECOGNIZE ALL LOAD TRANSFERS & TO APPROPRIATELY ACCOMMODATE THEM.
  - STANDARD INTERIOR WALLS TO BE 2X4 @ 16" OC, BLOCKED @ MID-SPAN W/5/8" GYPROCK
  - EXTERIOR WALLS TO BE 2X6
- GENERAL NOTES:**
- PLATE LINE TO BE @ 10'-0" NOMINAL
  - LAY-IN FINISH CEILING @ 9'-0" AFF
  - ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY DESIGNER IF ANY DISCREPANCIES ARE FOUND
  - ALL PLATE LINES AS NOTED ON ELEVATIONS
  - ALL WINDOW HEADERS AS NOTED
  - WATER HEATER TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE SHOWN OR BEST SUITED
  - ALL INTERIOR FINISHES TO BE AS SELECTED & AS NOTED
  - EXTERIOR WALLS TO BE 2X6

**DOOR SCHEDULE**

TYPE	SIZE	DESCRIPTION	#
1 STEEL EXTERIOR	3'-0" X 6'-8"	NON FIRE RATED	1
2 SOLID CORE	2'-0" X 6'-8"	INTERIOR AS SELECTED	1

\* - W/CLOSER, PUSH BAR EXIT DEVISE & DEAD BOLT LOCK SET  
 \*\* - PAINT GRADE W/PRIVACY LOCK

**WINDOW SCHEDULE**

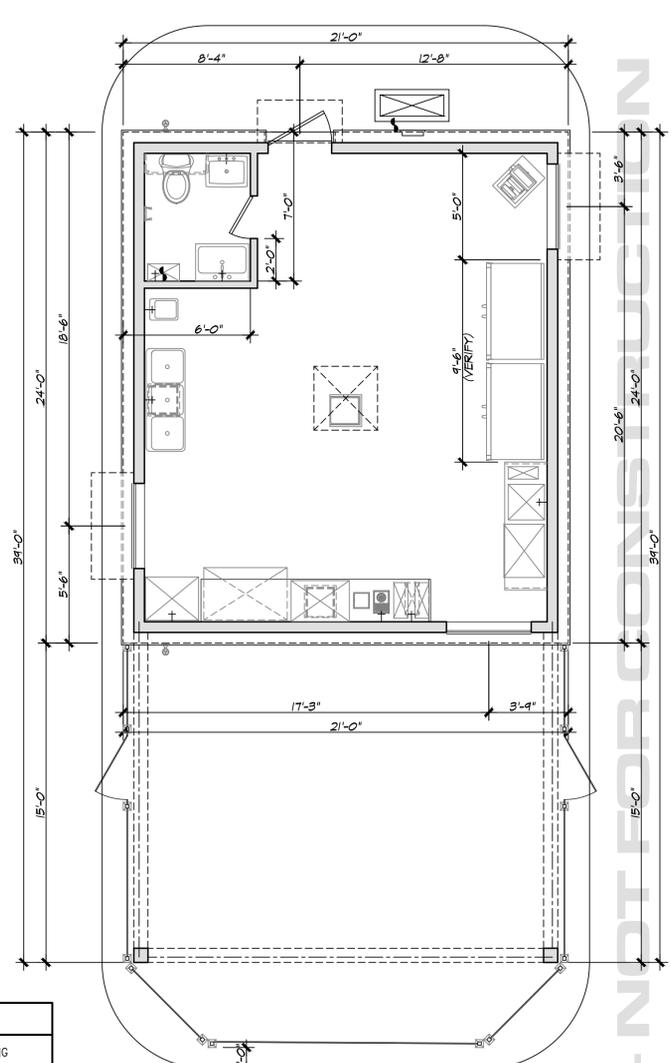
TYPE	SIZE	DESCRIPTION	#
A HORIZ SL'DR	4'-0" X 3'-6"	@ 6'-8" HDR	3

**ROOM FINISH SCHEDULE**

ROOM NAME	FLOORS	BASE	WALLS		CEILING	
			MAT'L	FIN.	MAT'L	HGT
PREP/SERVICE	STAINED CONC.	RUBBER	GYP BD	F.R.P. BOARD	LAY-IN/2X4 GRID	9'-0"
RESTROOM	STAINED CONC.	RUBBER	GYP BD	PAINT	LAY-IN/2X4 GRID	9'-0"

**FIXTURE SCHEDULE**

ITEM	QTY	DESCRIPTION
A 3 COMP FREESTANDING SINK	1	STAINLESS STEEL
B FREESTANDING HAND WASH SINK	1	STAINLESS STEEL
C REFRIGERATOR	1	AS SELECTED
D FREEZER	1	AS SELECTED
E UNDER COUNTER REFRIGERATOR	1	AS SELECTED
F 3 GROUP ESPRESSO	1	AS SELECTED
G ICE MAKER	1	AS SELECTED
H REVERSE OSMOSIS WATER FILTER	1	AS SELECTED
J BULK GRINDER	1	AS SELECTED
K DOUBLE BATEN BREWER	1	AS SELECTED
L COUNTERTOP 30" MICROWAVE	1	AS SELECTED
M FREESTANDING MOP SINK	1	AS SELECTED
N PRE-FAB COUNTER/TABLE	1	AS SELECTED 72" Lx24" Wx36" H
O JOB-BUILT COUNTER	1	AS SELECTED 162" L(verify)X24" Wx36" H
P CASH REGISTER TABLE	1	AS SELECTED
Q CASH REGISTER	1	AS SELECTED
R WALL MOUNT SINK	1	AS SELECTED
S TANKLESS WATER HEATER	1	AS SELECTED
T WALL MOUNT CABINET	1	SIZE & TYPE AS SELECTED
U COFFEE GRINDER	2	AS SELECTED
V FLOOR SINK	3	AS SELECTED
W CUP/GLASS RINSER	1	AS SELECTED
X COUNTERTOP TRASH DROP	1	AS SELECTED
Y TOILET PAPER HOLDER	1	AS SELECTED
Z TOILET	1	FLOOR MOUNT AS SELECTED
AA PRE-FAB SIGN	2	NO MORE THAN 60 SF OR 75% OF BUILDING WIDTH
BB MINI SPLIT HVAC UNIT	1	AS REQUIRED/AS SELECTED ON CONC. PAD
CC 24"X48" LAY-IN CEILING	1	AS SELECTED @ 9'-0" AFF



**DIMENSION PLAN**  
 SCALE 1/4"=1'-0"

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall notify the ARCHITECT IMMEDIATELY in writing of any discrepancies and/or omissions. The contractor shall be responsible for the accuracy of the construction documents. These construction documents are intended for general construction purposes only and are not exhaustive. The contractor shall be responsible for the accuracy of the construction documents and shall be held responsible to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the applicable building codes and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of the structure. The contractor shall be held responsible for the accuracy of the construction documents and shall be held responsible by a qualified professional engineer.

**5013 COFFEESHOP**  
**1011 S. GOLIAD ST.**  
**ROCKWALL, TX**

**M Rouse Design**  
 2307 HIGHLIDGE  
 SACHSE, TEXAS 75048  
 (214) 801-9944  
 mrouse@rouse-design.com  
 MROUSE DESIGN, EST. 2005  
 COPYRIGHT 2026 - MROUSE DESIGN - ALL RIGHTS RESERVED

REVISED DATE 1/1/2026  
 SHEET AI  
 DESIGN NUMBER C-5013-CS

CITY OF ROCKWALL

ORDINANCE NO. 26-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A RESTAURANT WITH LESS THAN 2,000 SF WITH DRIVE-THROUGH OR DRIVE-IN ON A 0.3480-ACRE TRACT OF LAND IDENTIFIED AS LOTS 10 & 11 OF THE CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Brierre Cathey on behalf of Mike Rodgers for the approval of a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In for the purpose of constructing a restaurant on a 0.3480-acre tract of land identified as Lots 10 & 11 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1011 S. Goliad Street [SH-205], and being more specifically described and depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the Subject Property and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In as stipulated by Subsection 01.02, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.05, Commercial (C) District, and Subsection 06.07, SH-205 Overlay (SH-205 OV) District, of Article 05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02], and with the following conditions:

## 2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction and operation of a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development of the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- (2) The development of the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, these elevations shall be subject to review and recommendation by the Architectural Review Board (ARB) at the time of Site Plan approval. In addition, any variances to the *General Overlay District Standards* as specified in Article 05, *District Development Standards*, of the Unified Development Code (UDC) shall be required to be approved by the Planning and Zoning Commission at the time of Site Plan approval.
- (3) Additional landscaping and headlight screening shall be required along the northern property line. This shall be reviewed by the Planning and Zoning Commission at the time of Site Plan approval.
- (4) Three (3) tiered screening (*i.e. one [1] row of canopy trees, one [1] row of accent trees and large shrubs, and one [1] row of lower level shrubs*) shall be required adjacent to the eastern property line (*adjacent to the existing residentially zoned or used properties*). In addition, a *built-up* berm a minimum of 24-inches in height shall be required along the back of the property. These items will be reviewed for conformance by the Planning and Zoning Commission at the time of Site Plan approval.

## 2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- (1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 2<sup>ND</sup> DAY OF FEBRUARY, 2026.**

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

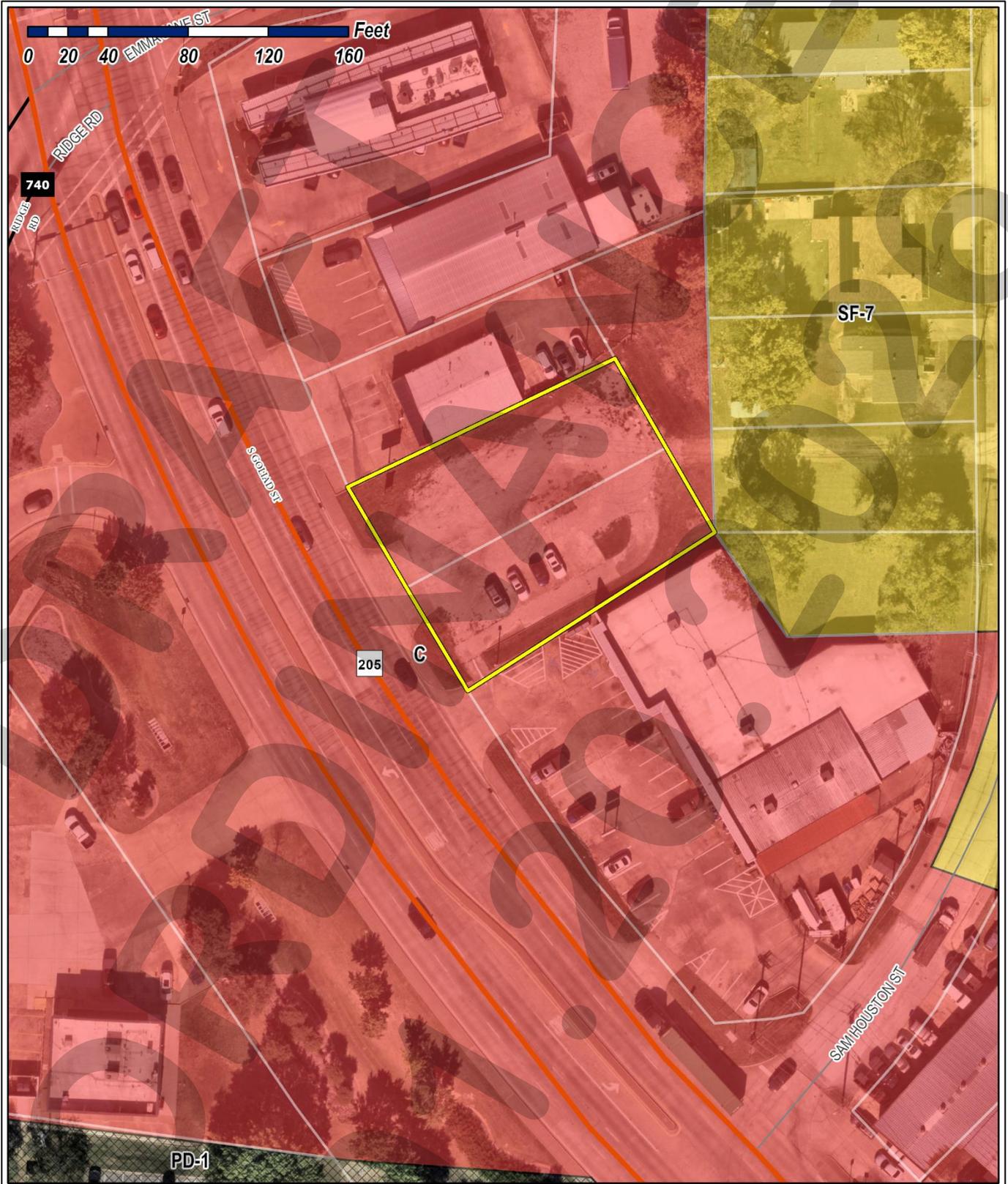
1<sup>st</sup> Reading: January 20, 2026

2<sup>nd</sup> Reading: February 2, 2026

**Exhibit 'A'**  
*Legal Description*

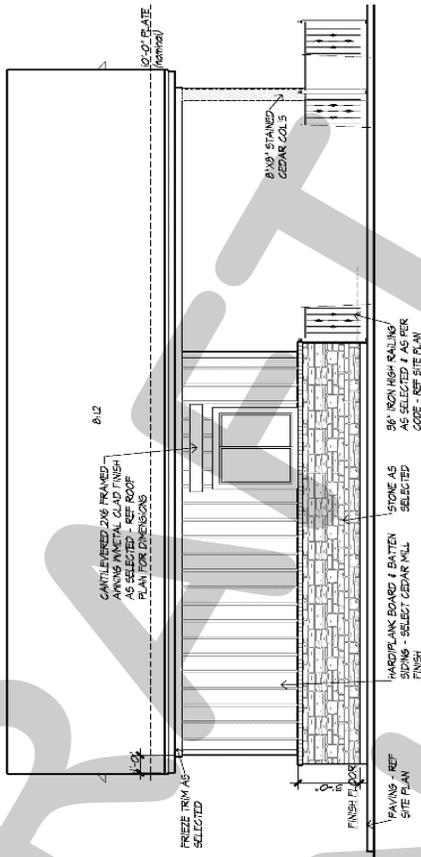
Address: 1011 S. Goliad Street

Legal Description: Lots 10 & 11 of the Canup Addition

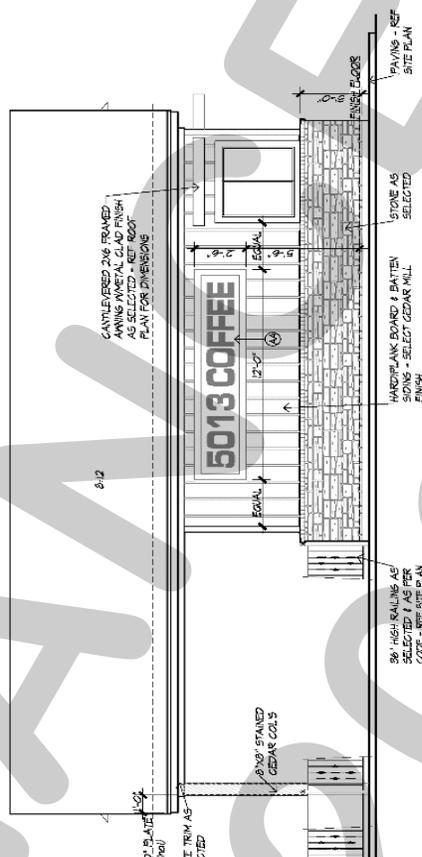




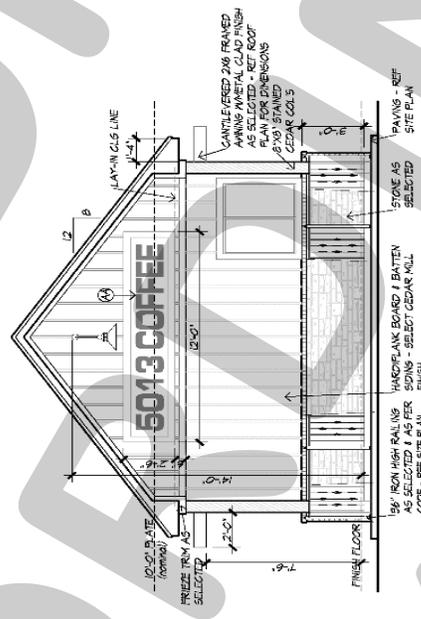
**Exhibit 'C':**  
**Building Elevations**



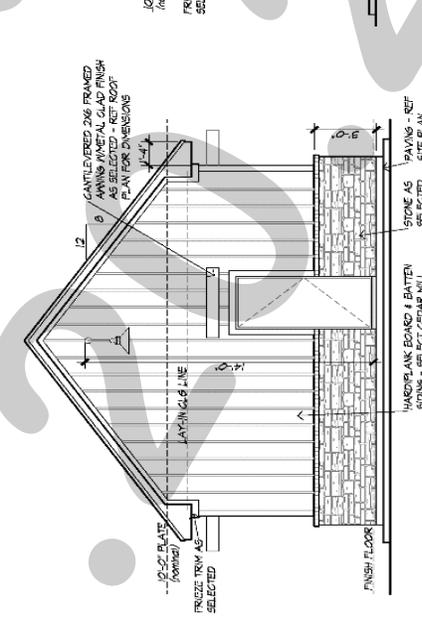
**LEFT SIDE ELEVATION**  
SCALE 1/4"=1'-0"  
25.0% STONE



**RIGHT SIDE ELEVATION**  
SCALE 1/4"=1'-0"  
25.0% STONE



**FRONT ELEVATION**  
SCALE 1/4"=1'-0"  
25.0% STONE



**REAR ELEVATION**  
SCALE 1/4"=1'-0"  
25.0% STONE



request. In addition, staff brought the case to the Planning and Zoning Commission on January 13, 2025. After reviewing the case, the Planning and Zoning Commission approved a motion to recommend denial by a vote of 5-0, with Commissioner Roth absent and one (1) seat vacant. According to Subsection 02.03(G), *Protest of a Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), if a Specific Use Permit (SUP) "...is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval." Should the City Council have any questions concerning this request, staff and the applicant will be available at the January 20, 2026 City Council meeting.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.**

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1540 I-30 Rockwall, TX 75087

SUBDIVISION Rockwall Recreation Addition

LOT 1

BLOCK 1

GENERAL LOCATION Located off I-30 Service Road & Commerce Street

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING L1

CURRENT USE Auto Dealer

PROPOSED ZONING

PROPOSED USE

ACREAGE 7.17

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER 1540 East IH 30 Rockwall, LLC

APPLICANT The Charles Morgan Group, LP

CONTACT PERSON Chase Cooley

CONTACT PERSON Davin Marceau

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHASE F. COOLEY [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 11th TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF December, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11th DAY OF December, 2025.

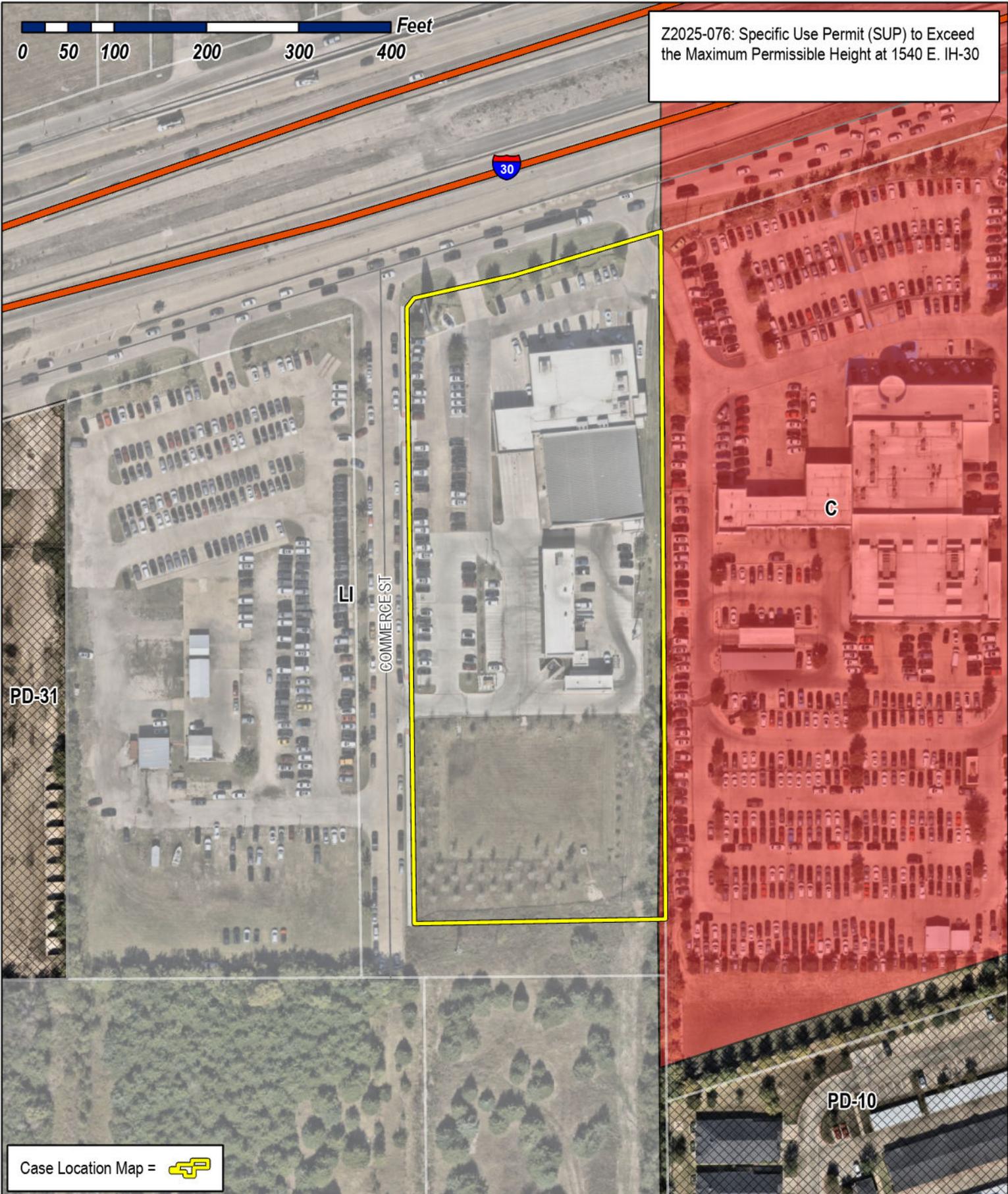
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2025-076: Specific Use Permit (SUP) to Exceed the Maximum Permissible Height at 1540 E. IH-30



Case Location Map =



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

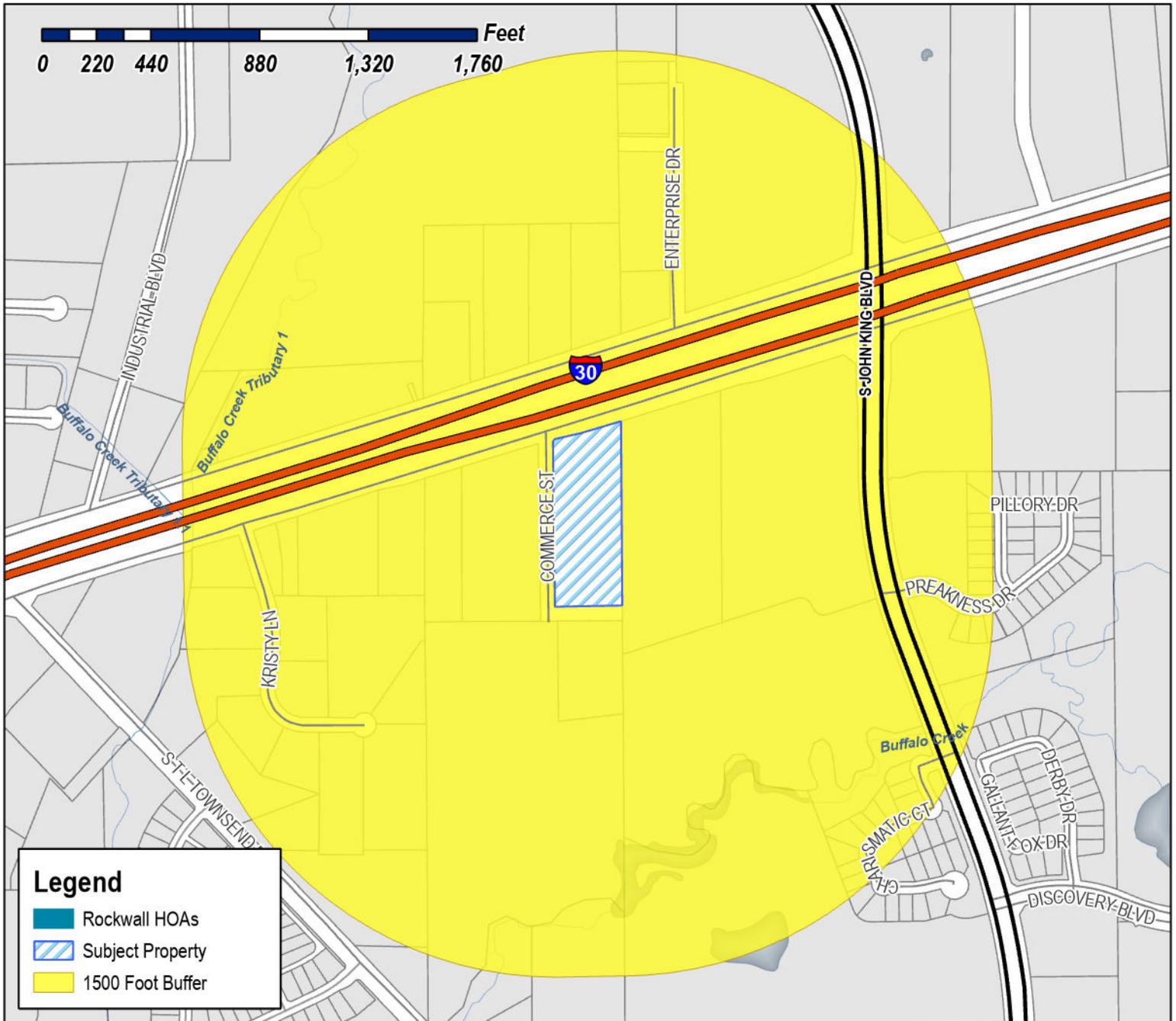




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
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**Case Number:** Z2025-076  
**Case Name:** Specific Use Permit (SUP) to Exceed the Maximum Permissible Height  
**Case Type:** Zoning  
**Zoning:** Light Industrial (LI) District  
**Case Address:** 1540 I-30

**Date Saved:** 12/15/2025  
 For Questions on this Case Call (972) 771-7745

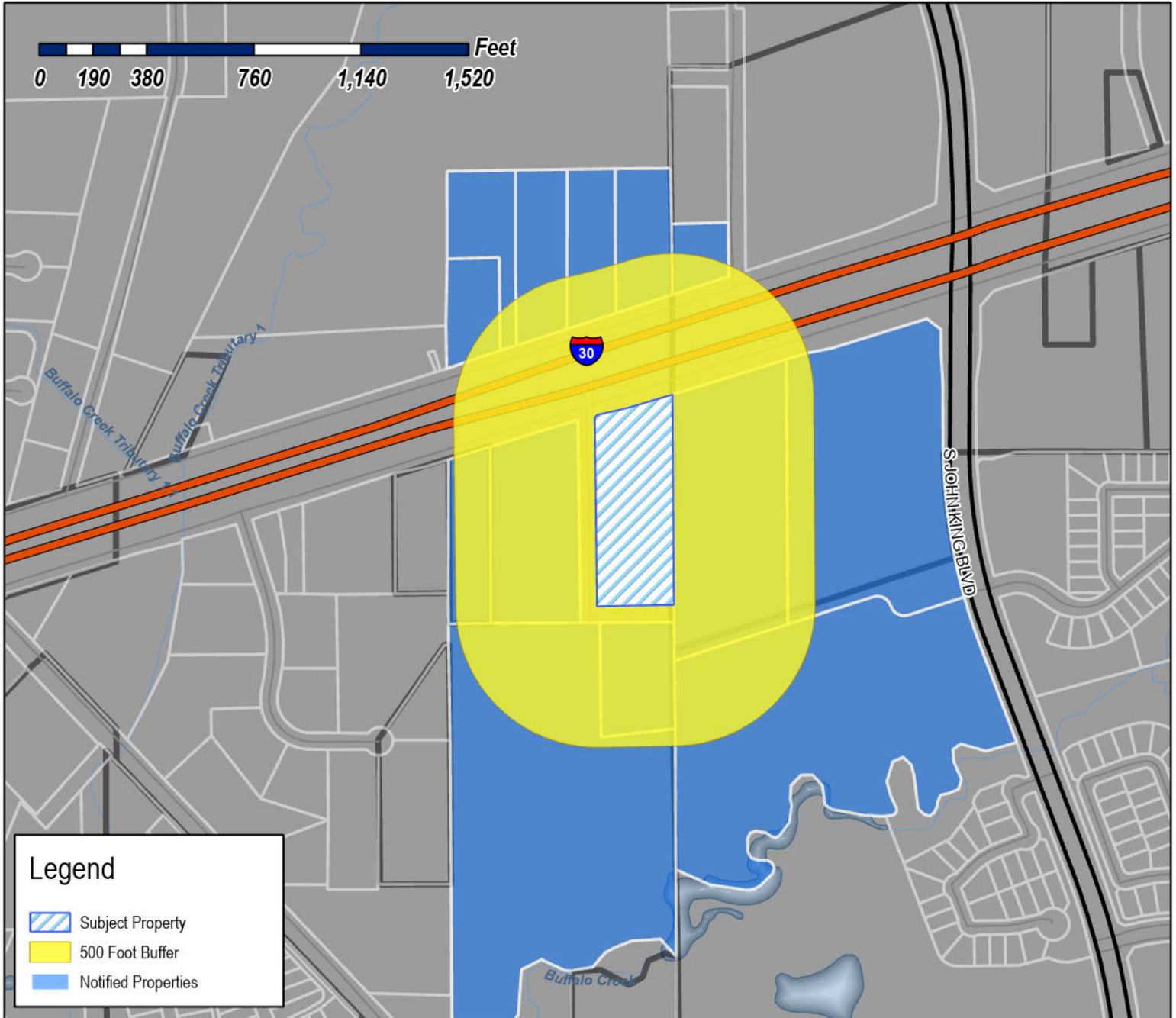




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2025-076

**Case Name:** Specific Use Permit (SUP) to Exceed the Maximum Permissible Height

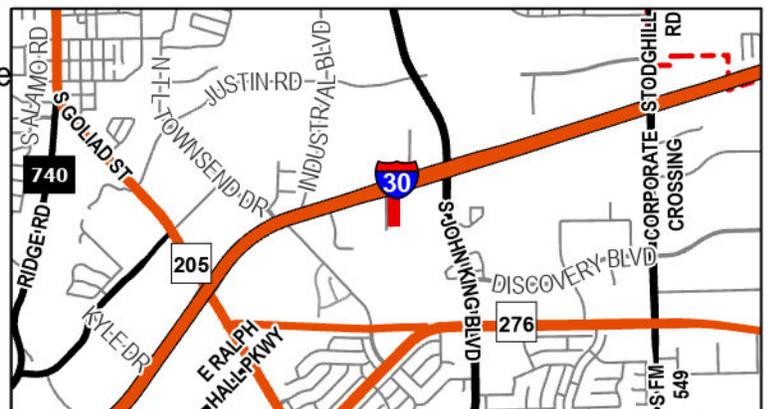
**Case Type:** Zoning

**Zoning:** Light Industrial (LI) District

**Case Address:** 1540 I-30

**Date Saved:** 12/15/2025

For Questions on this Case Call: (972) 771-7745



RESIDENT  
130 NORTH SERVICE RD  
ROCKWALL, TX 75087

LITHIA REAL ESTATE INC  
150 N BARTLETT STREET  
MEDFORD, OR 97501

RESIDENT  
1520 E I30  
ROCKWALL, TX 75087

RESIDENT  
1530 S I30  
ROCKWALL, TX 75087

RESIDENT  
1535 I30  
ROCKWALL, TX 75087

RESIDENT  
1540 I30  
ROCKWALL, TX 75087

RESIDENT  
1545 E INTERSTATE 30  
ROCKWALL, TX 75087

RESIDENT  
1550 E I30  
ROCKWALL, TX 75087

RESIDENT  
1551 E I30  
ROCKWALL, TX 75087

AM ROCKWALL INVESTMENTS LP  
A TEXAS LTD PARTNERSHIP  
1551 E Interstate 30 Ste A  
Rockwall, TX 75087

RESIDENT  
1600 E INTERSTATE 30  
ROCKWALL, TX 75087

RESIDENT  
1650 S JOHN KING  
ROCKWALL, TX 75087

DVB FAMILY LIMITED PARTNERSHIP  
2421 KATHRYN DR  
HEATH, TX 75032

DVB FAMILY LIMITED PARTNERSHIP  
2421 KATHRYN DR  
HEATH, TX 75032

C2LA, LLC  
382 Ranch Trl  
Rockwall, TX 75032

H E B LP  
646 SOUTH FLORES STREET  
SAN ANTONIO, TX 78204

DYNACAP HOLDINGS LTD &  
CHARLES SMITH  
709 W Rusk St Ste B  
Rockwall, TX 75087

ZBH/1535 E INTERSTATE 30 LTD  
9669 JOURDAN WAY  
DALLAS, TX 75230

1540 EAST IH 30 ROCKWALL LLC  
M/R  
ROCKWALL, TX 75087

STAR HUBBARD LLC  
C/O STEADFAST COMPANIES  
PO BOX 530292  
BIRMINGHAM, AL 35253

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2025-076: SUP to Exceed the Maximum Permissible Height for a Flag Pole**

Hold a public hearing to discuss and consider a request by Davin Marceau of The Charles Morgan Group, LP on behalf of Chase Cooley of 1540 E. IH-30 Rockwall, LLC for the approval of a Specific Use Permit (SUP) to Exceed the Maximum Permissible Height in a Light Industrial (LI) District for the construction of a Flag Pole on a 4.39-acre parcel of land identified as Lot 3, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 13 2026 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 20, 2026 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Ryan Miller**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 20, 2026 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

**Case No. Z2025-076: SUP to Exceed the Maximum Permissible Height for a Flag Pole**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

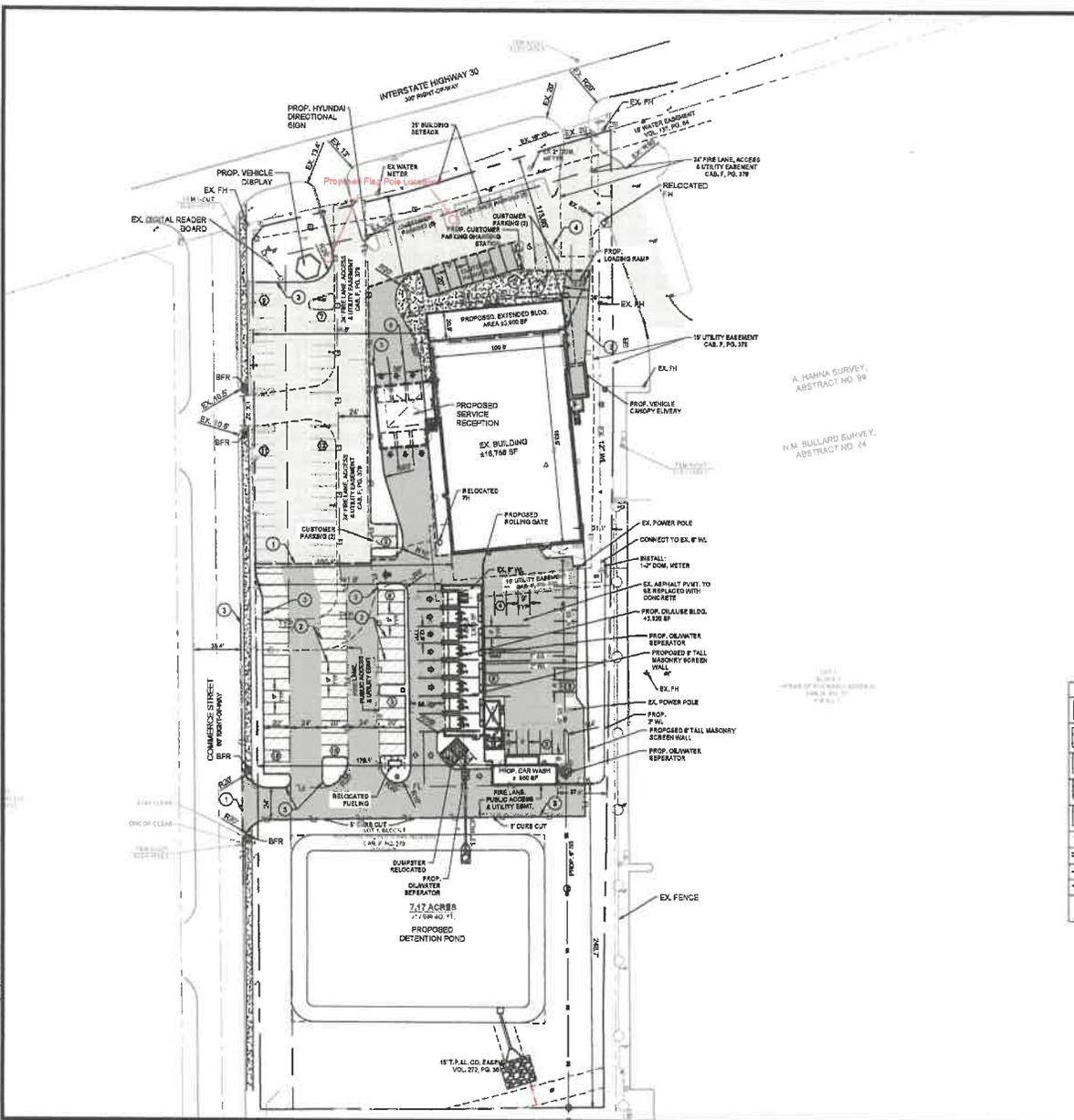
Four horizontal grey bars for providing reasons for the response.

Name: [text box]  
Address: [text box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

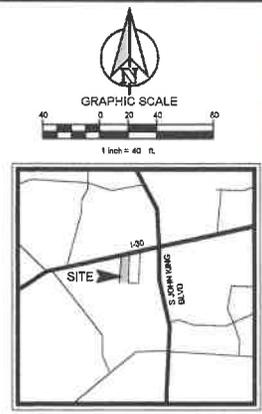
PLOTTED BY: JAT/KH/AM/ODDA  
 PLOT DATE: 5/16/2023 8:44 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2021-200 COOLEY ROCKWALL HYUNDAI\CAD\DWG\SP-1 CITY SITE PLAN.DWG  
 P. 30/30 5/16/2023 8:42 AM



SITE DATA TABLE	
SITE AREA	7.71 AC (312,069 SF)
ZONING	L1
PROPOSED USE	AUTO DEALER
BUILDING SIZE	22,858 SF (DEALERSHIP)
	850 SF (CARWASH)
	3,600 SF (OFFICE)
LOT COVERAGE	0.07 %
FLOOR TO AREA RATIO	0.07:1
BUILDING HEIGHT	1 STORY
SALES FLOOR AREA	3,928 SF
OFFICE AREA	1,300 SF
# OF BAYS	12

PARKING DATA TABLE	
PARKING REQ.	
SALES FLOOR 1/250 SF	19 SPACES
OFFICE SF 1/300 SF	5 SPACES
1 PER 2 BAY	8 SPACES
TOTAL:	27 SPACES
PARKING PROVIDED	
DISPLAY PARKING	58 SPACES
CUSTOMER PARKING	27 (2 ADA) SPACES
REVENUE STORAGE PARKING	24 SPACES

CONSTRUCTION SCHEDULE	
(1)	EXISTING CONCRETE PAVEMENT
(2)	FIRE LANE AND DRIVE ASLE 4\"/>



- CONSTRUCTION SCHEDULE**
- PROP. SAW CUT FULL DEPTH EXISTING PAVEMENT
  - PROP. 4\"/>

- NOTES:**
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
  - ALL WALLS 2' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
  - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
  - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
  - SOB MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROG. BOT.

**CLAY COOLEY HYUNDAI**  
**ROCKWALL TX 75087**  
 LEGAL DESCRIPTION AND/OR ADDRESS:  
**ROCKWALL RECREATION ADDITION**  
**LOT 1 BLOCK 1**  
**7.17 AC (312,069 SF)**

CLAY COOLEY AUTO  
 1291 E AIRPORT FREEWAY  
 IRVING, TX 75062

CLAYMOORE ENGINEERING, INC.  
 1805 CENTRAL DRIVE, SUITE #408  
 BEDFORD, TX 76021  
 PH: 817.261.0572

CASE NUMBER:  
 Z2021-046

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_

WITNESS OUR HANDS THIS \_\_\_\_ DAY OF \_\_\_\_

PLANNING AND ZONING COMMISSION, CHAIRMAN  
 DIRECTOR OF PLANNING AND ZONING

**CLAYMOORE ENGINEERING**  
 13301 W. STATE ST. SUITE 100  
 DALLAS, TEXAS 75240  
 TEL: 972.987.9900  
 FAX: 972.987.9901  
 WWW.CLAYMOOREENGINEERING.COM

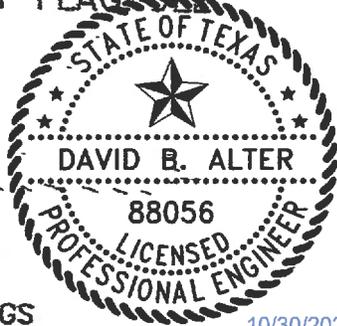
**CLAY COOLEY HYUNDAI**  
**1540 I-30**  
**ROCKWALL, TX 75087**

**CITY SITE PLAN**  
**SP-1**

SHEET  
 DATE: 5/16/2023

(SP2022-003)

**DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE**



**STANDARD FITTINGS**

10/30/2025

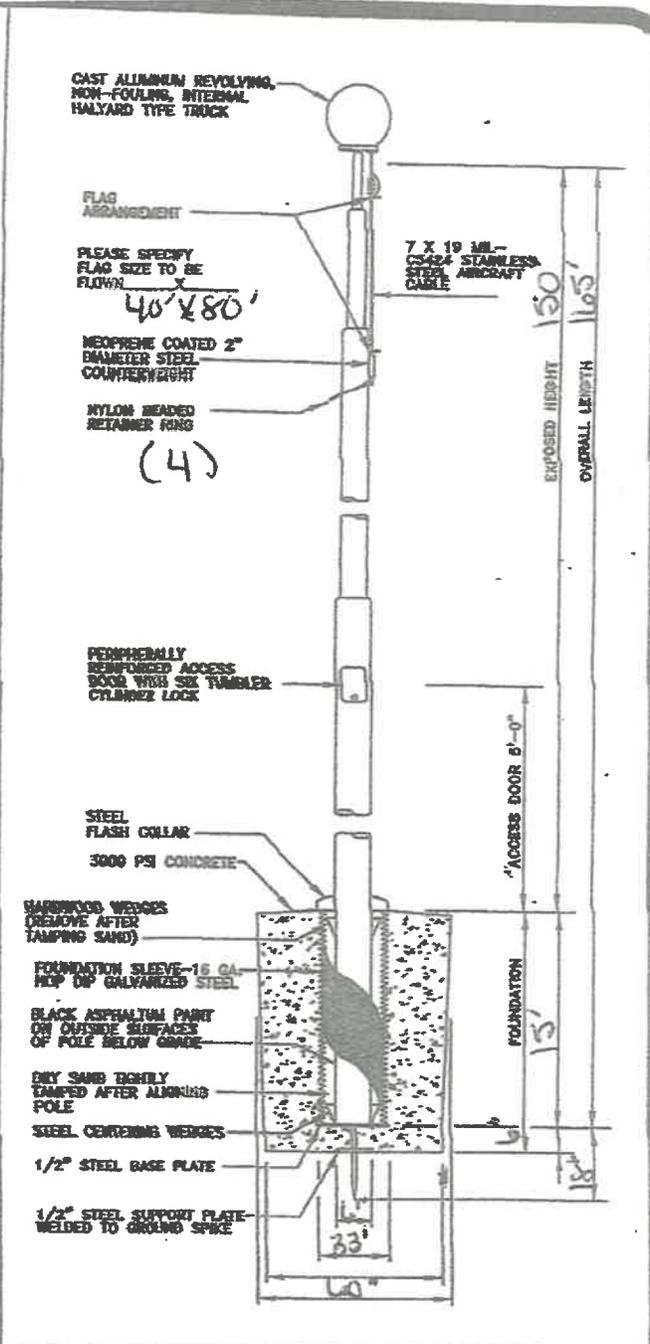
**FINIAL:** (The flagpole division of NAAMM recommends that no Finial, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.)

**TRUCK:** Heavy duty, cast aluminum, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130'. Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

**HALYARD:** Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

**WINCH:** Stainless steel, direct drive, accessible for maintenance only through a reinforced access door finished to match flagpole shaft and contains a six tumbler cylinder lock. Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A setting plate 6" square is securely welded to the ground spike 6" below the base plate. The ground spike is 3/4" diameter and 36" in length.



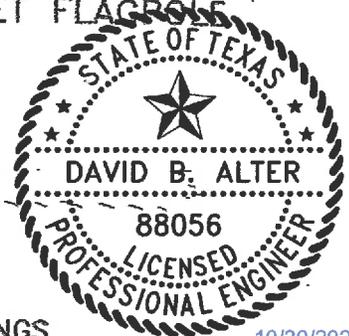
TX Flag  
40' x 80'

PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE		
LOC. 1540-I 30	EXP. HT. 150'	OVERALL HT. 116.5'	NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24"	TOP DIA. 10 3/4"	WALL THICKNESS .375"
CONT R:	SHIP IN 5	SEC.	FINISH: Powder Coat
CUST: Clay Cooley Hyundai Retail	White		

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	116.5'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.

**DIMINISHING SECTION STEEL CONCEALED HALYARD GROUND SET FLAGPOLE**



**STANDARD FITTINGS**

10/30/2025

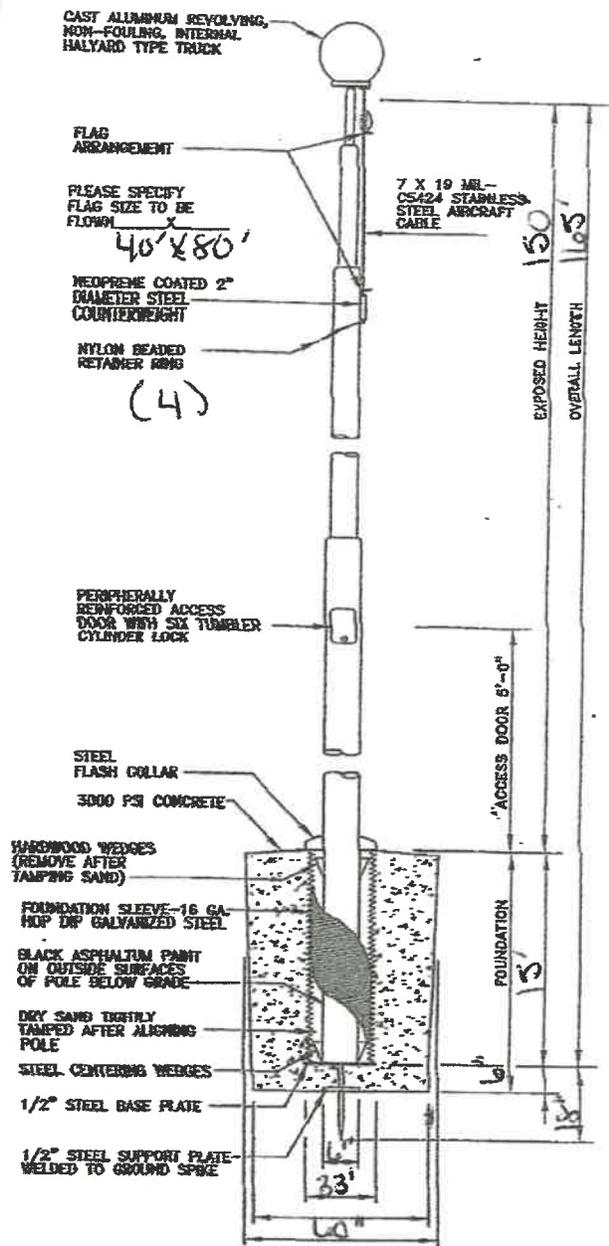
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**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A setting plate 6" square is securely welded to the ground spike 6" below the base plate. The ground spike is 3/4" diameter and 36" in length.



US Flag,  
40' x 80'

PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE
LOC. 1540-130	EXP. HT. 150' OVERALL HT. 165' NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24" TOP DIA. 10 3/4" WALL THICKNESS .375"
CONT R:	SHIP IN 5 SEC. FINISH: Powder Coat
CUST: Clay Cooley Hyundai Robinson	White

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	165'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.

# STRUCTURAL CALCULATIONS

*Project:*

**Clay Cooley Hyundai Flagpole & Footing**  
1540 I-30  
Rockwall, TX 75087

*Project Number:* 14520

*Prepared For:*

**Symonds Flags and Poles**  
250 W. Airport Freeway  
Irving, TX 75062

*Date:*

October 2025

*Prepared By:*

**Adam Pope, EIT**

*Reviewed By:*

**David B. Alter, PE**



10/30/2025

**Ensign Engineering**

45 West 10000 South, Suite 500  
Sandy, Utah 84070  
P: (801) 255-0529  
F: (801) 255-4449  
ensigneng.com

**ENSIGN**  
THE STANDARD IN ENGINEERING

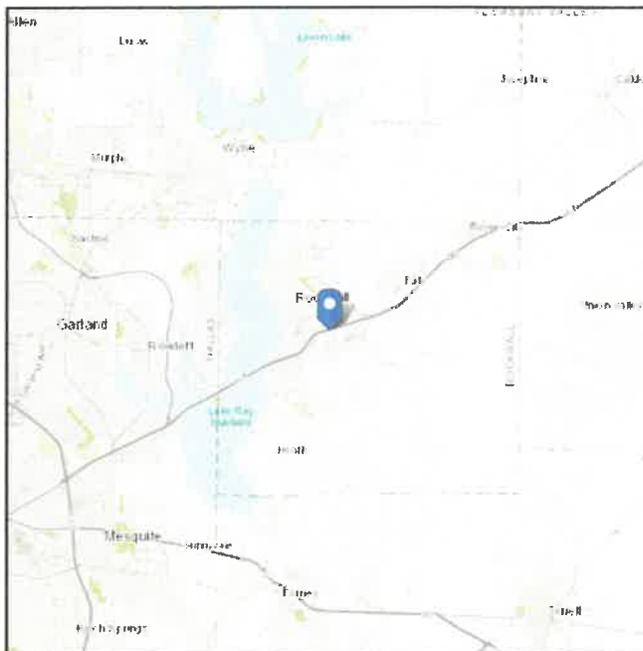


# ASCE Hazards Report

**Address:**  
 1540 E Interstate 30  
 Rockwall, Texas  
 75087

**Standard:** ASCE/SEI 7-22  
**Risk Category:** II  
**Soil Class:** Default

**Latitude:** 32.914362  
**Longitude:** -96.436478  
**Elevation:** 573.0197118668139 ft  
 (NAVD 88)



## Wind

**Results:**

Wind Speed	105 Vmph
10-year MRI	75 Vmph
25-year MRI	80 Vmph
50-year MRI	85 Vmph
100-year MRI	90 Vmph
300-year MRI	100 Vmph
700-year MRI	105 Vmph
1,700-year MRI	115 Vmph
3,000-year MRI	117 Vmph
10,000-year MRI	126 Vmph
100,000-year MRI	145 Vmph
1,000,000-year MRI	162 Vmph

Data Source: ASCE/SEI 7-22, Fig. 26.5-1B and Figs. CC.2-1–CC.2-4, and Section 26.5.2  
 Date Accessed: Wed Oct 29 2025



Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-22 Standard. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (annual exceedance probability = 0.00143, MRI = 700 years). Values for 10-year MRI, 25-year MRI, 50-year MRI and 100-year MRI are Service Level wind speeds, all other wind speeds are Ultimate wind speeds.

Site is not in a hurricane-prone region as defined in ASCE/SEI 7-22 Section 26.2.



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**GENERAL PROJECT INFORMATION**

Latitude: 32.91 North (Approximate)  
 Longitude: -96.44 West (Approximate)

Client: **Symonds Flags and Poles**

**PROJECT DESCRIPTION**

Structural Calculations for  $h := 150 \text{ ft}$  flag pole footing

**GENERAL DESIGN CRITERIA**

Structure Type: Flag Pole  
 Design Code: 2021 IBC / FP1001-07  
 Risk Category: II

**DESIGN LOADS**

Wind Loads:

Wind Speed:  $WS := 105$  mph - 3 second gust (strength level)  
 Exposure: C

**FOUNDATION CRITERIA & SPECIFICATIONS**

Soils Report: Company: Presumptive  
 Date: N/A  
 Report/Project Number: N/A  
 Contact: N/A

Allowable Bearing Pressure: 1500 psf

Passive Pressure:  $P_{\text{passive}} := 2 \cdot 150 \frac{\text{psf}}{\text{ft}} = 300 \frac{\text{psf}}{\text{ft}}$   
 Increase Per IBC 1806.3.4

Coefficient of Friction,  $\mu$ : 0.35

Foundation Type:

Footing Type: Pole Footing

**FOUNDATION CRITERIA & SPECIFICATIONS**

**CONCRETE & REINFORCING STEEL SPECIFICATIONS**

Concrete Strength,  $f'c$ :  
 Footings/Foundation Walls: 3000 psi

Steel Pole Segments: API 5Lx46 Grade B ( $f_y=46$  ksi)

## Flagpole Design

### Flagpole Geometry

$$h = 150 \text{ ft}$$

Total Pole Height from the Ground

$$w_1 := 24 \text{ in} \quad w_3 := 15 \text{ in}$$

Pole Widths

$$w_2 := 19.5 \text{ in} \quad w_4 := 10.75 \text{ in}$$

$$h_1 := 50 \text{ ft} \quad h_3 := 40 \text{ ft}$$

Respective Pole Heights

$$h_2 := 40 \text{ ft} \quad h_4 := 20 \text{ ft}$$

### Wind loads on pole (Per NAAMM / FP1001-07)

$$WS = 105$$

Wind speed (mph)

$$V := \sqrt{0.6} \cdot WS$$

Wind velocity ASCE 7-16 (mph) adjusted to ASCE 7-05

$$G := 1.14$$

Gust effect factor recommended for flag poles

### Segment 4 Calculations

$$z_4 := 140 \text{ ft}$$

Avg. Distance From Ground (ft)

$$d_4 := \frac{w_4}{ft} = 0.896$$

$$C_{deq4} := \frac{129}{(V \cdot d_4)^{1.3}} = 0.49$$

Drag coefficient FP1001 Table 3.2.4.

$$C_{d4} := \text{if}(C_{deq4} < 0.45, 0.45, \text{if}(C_{deq4} > 1.1, 1.1, C_{deq4})) = 0.489$$

$$C_{h4} := 2.01 \cdot \left( \frac{z_4}{900 \text{ ft}} \right)^{\frac{2}{9.5}} = 1.36$$

Height coefficient FG1001 Eq. 2

$$P_4 := 0.00256 \cdot V^2 \cdot C_{d4} \cdot C_{h4} \cdot G = 12.826$$

Wind Pressure (psf) FP1001 Eq. 1

$$A_4 := h_4 \cdot w_4 = 17.917 \text{ ft}^2$$

Pole Area

$$F_4 := P_4 \cdot \text{psf} \cdot A_4 = 229.799 \text{ lbf}$$

Wind Force as a Point Load (Lbs)

$$M_{b4} := A_4 \cdot P_4 \cdot \text{psf} \cdot z_4 = 32.172 \text{ kip} \cdot \text{ft}$$

Moment @ base resulting from segment 4

Segment 3 Calculations

$$z_3 := 110 \text{ ft}$$

*Avg. Distance From Ground (ft)*

$$d_3 := \frac{w_3}{ft} = 1.25$$

$$C_{deq3} := \frac{129}{(V \cdot d_3)^{1.3}} = 0.32$$

*Drag coefficient FP1001 Table 3.2.4.*

$$C_{d3} := \text{if}(C_{deq3} < 0.45, 0.45, \text{if}(C_{deq3} > 1.1, 1.1, C_{deq3})) = 0.45$$

$$C_{h3} := 2.01 \cdot \left( \frac{z_3}{900 \text{ ft}} \right)^{\frac{2}{9.5}} = 1.29$$

*Height coefficient FG1001 Eq. 2*

$$P_3 := 0.00256 \cdot V^2 \cdot C_{d3} \cdot C_{h3} \cdot G = 11.218$$

*Wind Pressure (psf) FP1001 Eq. 1*

$$A_3 := h_3 \cdot w_3 = 50 \text{ ft}^2$$

*Pole Area*

$$F_3 := P_3 \cdot \text{psf} \cdot A_3 = 560.886 \text{ lbf}$$

*Wind Force as a Point Load (Lbs)*

$$M_{b3} := A_3 \cdot P_3 \cdot \text{psf} \cdot z_3 = 61.697 \text{ kip} \cdot \text{ft}$$

*Moment @ base resulting from segment 3*

Segment 2 Calculations

$$z_2 := 70 \text{ ft}$$

*Avg. Distance From Ground (ft)*

$$d_2 := \frac{w_2}{ft} = 1.625$$

$$C_{deq2} := \frac{129}{(V \cdot d_2)^{1.3}} = 0.23$$

*Drag coefficient FP1001 Table 3.2.4.*

$$C_{d2} := \text{if}(C_{deq2} < 0.45, 0.45, \text{if}(C_{deq2} > 1.1, 1.1, C_{deq2})) = 0.45$$

$$C_{h2} := 2.01 \cdot \left( \frac{z_2}{900 \text{ ft}} \right)^{\frac{2}{9.5}} = 1.17$$

*Height coefficient FG1001 Eq. 2*

$$P_2 := 0.00256 \cdot V^2 \cdot C_{d2} \cdot C_{h2} \cdot G = 10.2$$

*Wind Pressure (psf) FP1001 Eq. 1*

$$A_2 := h_2 \cdot w_2 = 65 \text{ ft}^2$$

*Pole Area*

$$F_2 := P_2 \cdot \text{psf} \cdot A_2 = 662.968 \text{ lbf}$$

*Wind Force as a Point Load (Lbs)*

$$M_{b2} := A_2 \cdot P_2 \cdot \text{psf} \cdot z_2 = 46.408 \text{ kip} \cdot \text{ft}$$

*Moment @ base resulting from segment 2*

Segment 1 Calculations

$$z_1 := 25 \text{ ft}$$

Avg. Distance From Ground (ft)

$$d_1 := \frac{w_1}{ft} = 2$$

$$C_{deq1} := \frac{129}{(V \cdot d_1)^{1.3}} = 0.17$$

Drag coefficient FP1001 Table 3.2.4.

$$C_{d1} := \text{if}(C_{deq1} < 0.45, 0.45, \text{if}(C_{deq1} > 1.1, 1.1, C_{deq1})) = 0.45$$

$$C_{h1} := \text{if}\left(z_1 < 16.4 \text{ ft}, 0.86, 2.01 \cdot \left(\frac{z_1}{900 \text{ ft}}\right)^{\frac{2}{9.5}}\right) = 0.95$$

Height coefficient FG1001 Eq. 2 (if  $z_1 < 16.4'$   $Ch = 0.86$ )

$$P_1 := 0.00256 \cdot V^2 \cdot C_{d1} \cdot C_{h1} \cdot G = 8.212$$

Wind Pressure (psf) FP1001 Eq. 1

$$A_1 := h_1 \cdot w_1 = 100 \text{ ft}^2$$

Pole Area

$$F_1 := P_1 \cdot \text{psf} \cdot A_1 = 821.184 \text{ lbf}$$

Wind Force as a Point Load (Lbs)

$$M_{b1} := A_1 \cdot P_1 \cdot \text{psf} \cdot z_1 = 20.53 \text{ kip} \cdot \text{ft}$$

Moment @ base resulting from segment 1

$$M_{\text{bpole}} := M_{b1} + M_{b2} + M_{b3} + M_{b4} = 160.807 \text{ kip} \cdot \text{ft}$$

Wind loads on flag (per NAAMM / FP1001-07)

$$h_f := 40 \text{ ft} \quad w_f := 80 \text{ ft} \quad z_f := 130 \text{ ft}$$

Flag geometry

$$C_{hf} := 2.01 \cdot \left(\frac{z_f}{900 \text{ ft}}\right)^{\frac{2}{9.5}} = 1.34$$

Height coefficient FG1001 Eq. 2

$$A_f := h_f \cdot w_f = 3200 \text{ ft}^2$$

Flag Area

$$F_f := 0.0014 \frac{\text{lbf}}{\text{ft}} \cdot V^2 \cdot \sqrt{A_f} \cdot C_{hf} \cdot G = 798.783 \text{ lbf}$$

Force on flag FG1001 Eq. 5 (polyester flag = worst case)

$$M_{bf} := F_f \cdot z_f = 103.842 \text{ kip} \cdot \text{ft}$$

Moment @ base resulting from the flag

$$F_d := \frac{F_f}{h_f} = 19.97 \text{ plf}$$

Moment @ Base

$$M_{\text{total}} := M_{\text{br}} + M_{\text{bpole}} = 264.648 \text{ kip} \cdot \text{ft}$$

Moment @ Base of Segment 2

$$M_2 := F_4 \cdot (z_4 - h_1) + F_3 \cdot (z_3 - h_1) + F_2 \cdot (z_2 - h_1) + F_f \cdot (z_f - h_1)$$

$$M_2 = 131.497 \text{ kip} \cdot \text{ft}$$

Moment @ Base of Segment 3

$$M_3 := F_4 \cdot (z_4 - h_1 - h_2) + F_3 \cdot (z_3 - h_1 - h_2) + F_f \cdot (z_f - h_1 - h_2)$$

$$M_3 = 54.659 \text{ kip} \cdot \text{ft}$$

Moment @ Base of Segment 4

$$M_4 := F_4 \cdot (z_4 - h_1 - h_2 - h_3) + F_d \cdot h_4 \cdot \left(\frac{h_4}{2}\right) = 6.292 \text{ kip} \cdot \text{ft}$$

Worst loading case for segment 4  
 =full length of segment

Section Moduli of Each Segment

$$T := 0.375 \text{ in}$$

$$S_1 := \frac{\pi \cdot (w_1^4 - (w_1 - 2T)^4)}{32 \cdot w_1} = 161.858 \text{ in}^3$$

$$S_3 := \frac{\pi \cdot (w_3^4 - (w_3 - 2T)^4)}{32 \cdot w_3} = 61.461 \text{ in}^3$$

$$S_2 := \frac{\pi \cdot (w_2^4 - (w_2 - 2T)^4)}{32 \cdot w_2} = 105.696 \text{ in}^3$$

$$S_4 := \frac{\pi \cdot (w_4^4 - (w_4 - 2T)^4)}{32 \cdot w_4} = 30.637 \text{ in}^3$$

$$Z_1 := \frac{w_1^3 - (w_1 - 2T)^3}{6} = 209.32 \text{ in}^3$$

$$Z_3 := \frac{w_3^3 - (w_3 - 2T)^3}{6} = 80.227 \text{ in}^3$$

$$Z_2 := \frac{w_2^3 - (w_2 - 2T)^3}{6} = 137.18 \text{ in}^3$$

$$Z_4 := \frac{w_4^3 - (w_4 - 2T)^3}{6} = 40.383 \text{ in}^3$$

Bending Stress Check of Each Segment (16.1-F8 AISC)

$$E := 29000 \text{ ksi} \quad F_y := 42 \text{ ksi} \quad \Omega_b := 1.67$$

**ALLOWABLE FACTORED STRENGTH PER CODE IS 40 KSI FOR 42 KSI STEEL**

Segment 4

$$D_t := \frac{w_4}{T} = 28.667 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 333.837 \text{ ksi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_4 = 141.34 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_4}{M_{ny}} = 0.074 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Compact"}$$

$$M_{nb} := \text{if}(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_4, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_4)) = \text{"N/A"}$$

Segment 3

$$D_t := \frac{w_3}{T} = 40 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 239.25 \text{ ksi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_3 = 280.793 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_3}{M_{ny}} = 0.325 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Compact"}$$

$$M_{nb} := \text{if}(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_3, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_3)) = \text{"N/A"}$$

Segment 2

$$D_t := \frac{W_2}{T} = 52 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 184.038 \text{ ksi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_2 = 480.129 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_2}{M_{ny}} = 0.457 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Non-compact"}$$

$$M_{nb} := \text{if}\left(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}\left(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_2, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_2\right)\right) = 15221234.198 \frac{\text{lb} \cdot \text{ft}^2}{\text{s}^2}$$

Segment 1

$$D_t := \frac{W_1}{T} = 64 \quad F_8 := \frac{0.45 \cdot E}{F_y} = 310.714 \quad F_{cr} := \frac{0.33 \cdot E}{(D_t)} = 149531.25 \text{ psi}$$

$$F_{8\text{apply}} := \text{if}(D_t < F_8, \text{"PROCEED"}, \text{"REVISE"}) = \text{"PROCEED"}$$

Yielding

$$M_{ny} := F_y \cdot Z_1 = 732.621 \text{ kip} \cdot \text{ft} \quad \frac{\Omega_b \cdot M_{\text{btotal}}}{M_{ny}} = 0.603 \quad \text{Must be } < 1$$

Local Buckling

$$\lambda_p := 0.07 \cdot \frac{E}{F_y} = 48.333 \quad \lambda_r := 0.31 \cdot \frac{E}{F_y} = 214.048$$

$$\text{Check}_c := \text{if}(D_t < \lambda_p, \text{"Compact"}, \text{if}(D_t > \lambda_r, \text{"Slender"}, \text{"Non-compact"})) = \text{"Non-compact"}$$

$$M_{nb} := \text{if}\left(\text{Check}_c = \text{"Compact"}, \text{"N/A"}, \text{if}\left(\text{Check}_c = \text{"Slender"}, F_{cr} \cdot S_1, \left(\frac{0.021 \cdot E}{D_t} + F_y\right) \cdot S_1\right)\right) = 694.852 \text{ kip} \cdot \text{ft}$$

$$\frac{\Omega_b \cdot M_{\text{btotal}}}{M_{nb}} = 0.636 \quad \text{Must be } < 1$$

At maximum wind, the pole with attached flag would not fail. However, the flag is not expected to stay attached with winds exceeding 50 mph. Calculations without the flag follow. The assumption is that the flag will rip from the pole before it is able to transfer maximum load to the pole.

**FLAG SHALL BE REMOVED BEFORE WIND SPEEDS REACH 75 MPH.**

Moment @ Base w/out Flag

$$M_{\text{totalwof}} := M_{\text{ppole}} = 160.807 \text{ kip} \cdot \text{ft}$$

Moment @ base of segment 2 w/out flag

$$M_{2\text{wof}} := F_4 \cdot (z_4 - h_1) + F_3 \cdot (z_3 - h_1) + F_2 \cdot (z_2 - h_1) = 67.594 \text{ kip} \cdot \text{ft}$$

Moment @ base of segment 3 w/out flag

$$M_{3\text{wof}} := F_4 \cdot (z_4 - h_1 - h_2) + F_3 \cdot (z_3 - h_1 - h_2) = 22.708 \text{ kip} \cdot \text{ft}$$

Moment @ base of segment 4 w/out flag

$$M_{4\text{wof}} := F_4 \cdot (z_4 - h_1 - h_2 - h_3) = 2.298 \text{ kip} \cdot \text{ft}$$

Loads on steel sections less than when the flag is present. **Steel is adequate by inspection.**

## Footing Design

$$b := 4.5 \text{ ft}$$

*Diameter of footing in ft*

$$P' := F_1 + F_2 + F_3 + F_4 + F_f = 3073.62 \text{ lbf}$$

*Applied lateral force in lbs*

$$h' := \frac{M_{\text{total}}}{P'} = 86.103 \text{ ft}$$

*Distance in ft from ground surface to point of application of "P"*

$$S_1 = 1191.237 \text{ psf}$$

*Allowable Lateral soil bearing pressure as set forth in the IBC, Section 1806.2 based on depth of one-third the depth of embedment in psf*

\*Note to Engineer: Iterate Lateral Bearing Soil Pressure

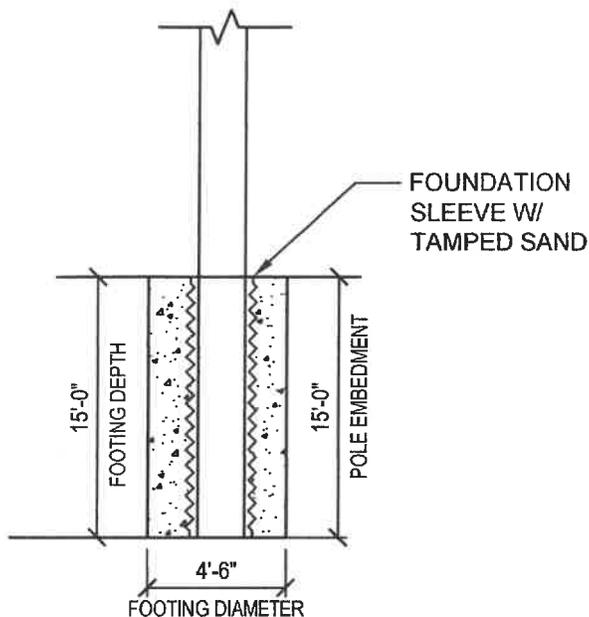
$$A := \frac{2.34 \cdot P'}{S_1 \cdot b} = 1.342 \text{ ft}$$

$$d := 0.5 \cdot A \cdot \left( 1 + \left( 1 + \left( \frac{4.36 \cdot h'}{A} \right)^{\frac{1}{2}} \right) \right) = 11.91 \text{ ft}$$

*Depth of embedment in earth in ft but not over 12 ft for purpose of computing lateral pressure (IBC 1807.3, EQ 18-1)*

Footing Depth to be: **12 ft** min

**WARNING: FLAG MUST BE REMOVED IF WINDS WILL EXCEED 75 MPH**

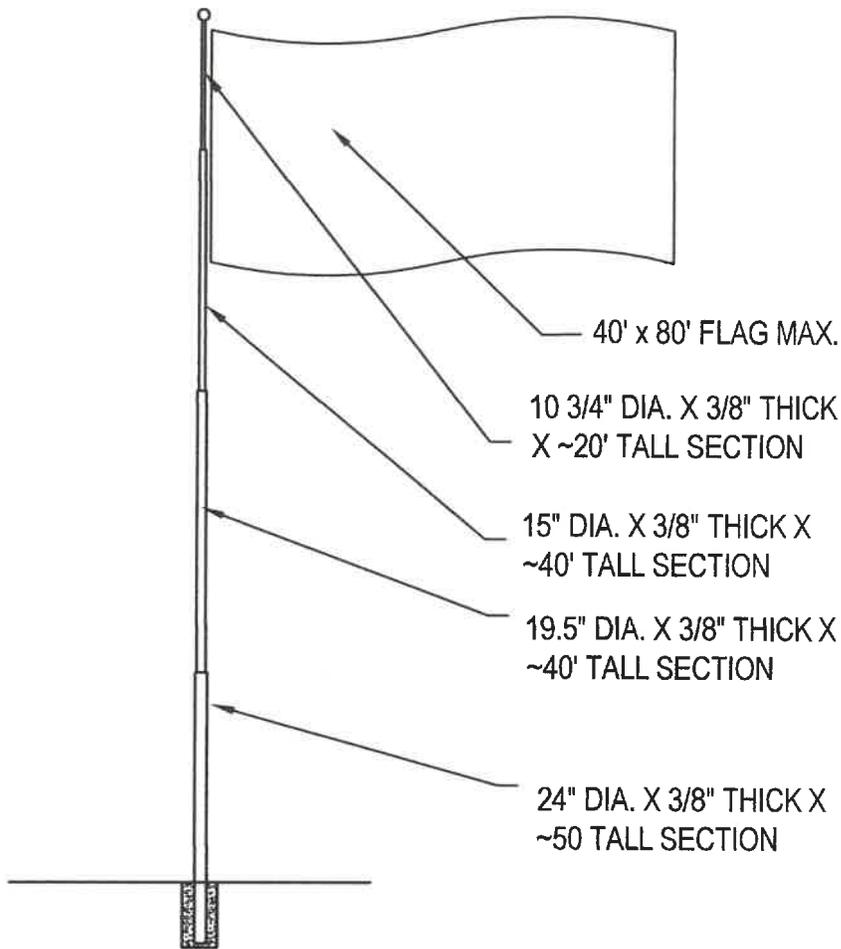


**FOOTING**

FOUNDATION DESIGN IS BASED ON ASSUMED SOIL PROPERTIES. IF THE SOIL ENCOUNTERED IN THE EXCAVATION IS NOT SAND, SILTY SAND, CLAYER SAND, SILTY GRAVEL OR CLAYEY GRAVEL, PLEASE NOTIFY THE ENGINEER. ALSO, IF THE WATER TABLE IS ENCOUNTERED IN THE EXCAVATION, PLEASE CONTACT THE ENGINEER



10/30/2025

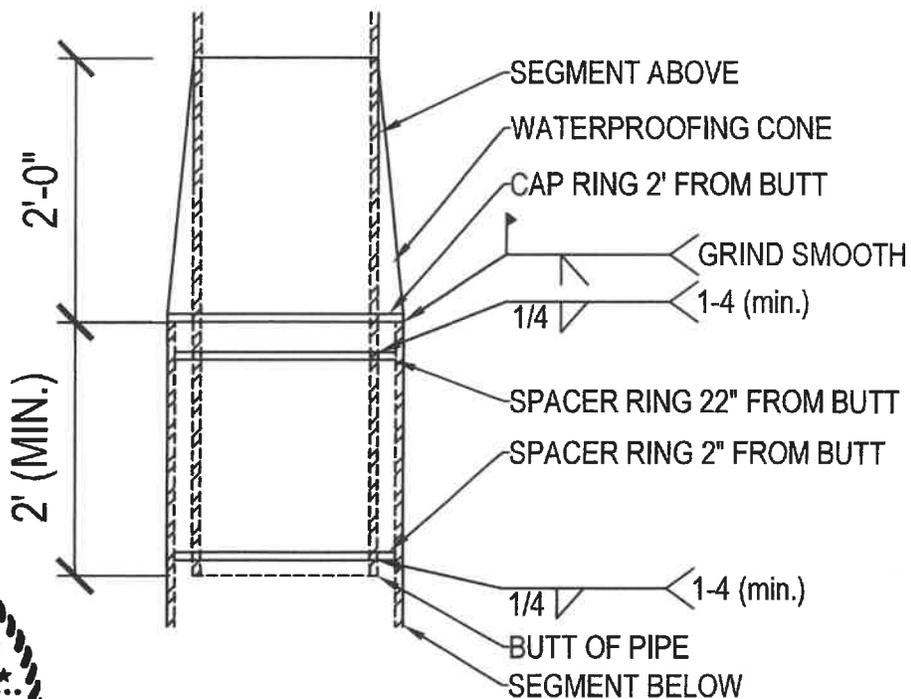


**ELEVATION**

**1 FLAGPOLE**

SCALE: N.T.S.

<p>SHEET: <b>SK1</b></p>	<p>PROJECT NUMBER 14520 DATE 10/29/2025 DRAWN BY A. Pope PROJECT MANAGER D. Alter</p>	<p>PROJECT NAME <b>Clay Cooley Hyundai Flagpole &amp; Ftg</b> 1540 I-30 Rockwall, TX 75087</p> <p>SHEET TITLE:</p>	 <p>SALT LAKE CITY 45 WEST 10000 SOUTH Suite 500 Sandy, UT 84070 P. 801.255.0529 F. 801.255.4440 WWW.ENSIGNUTAH.COM</p>
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10/30/2025

1

CONNECTION SLEEVE

SCALE: N.T.S.

<p>SHEET:</p> <p><b>SK2</b></p>	<p>PROJECT NUMBER 14520</p> <p>DATE 10/29/2025</p> <p>DRAWN BY A. Pope</p> <p>REVIEWED BY D. Alter</p>	<p>PROJECT NAME:</p> <p><b>Clay Cooley Hyundai Flagpole &amp; Ftg</b></p> <p>1540 I-30</p> <p>Rockwall, TX 75087</p> <p>SHEET TITLE:</p>	 <p>SALT LAKE CITY 45 WEST 10000 SOUTH Suite 500 Sandy, UT 84070 P. 801.255.0529 F. 801.255.4448</p> <p><b>ENSIGN</b></p> <p>THE STANDARD IN ENGINEERING</p> <p>WWW.ENSIGNUTAH.COM</p>
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# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Mayor and City Council  
**DATE:** September 21, 2020  
**APPLICANT:** Nabiha Saeed, *Symonds Flags and Poles, Inc.*  
**CASE NUMBER:** Z2020-036; *Specific Use Permit for a Flag Pole at 1540 E. IH-30*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Nabiha Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the approval of a Specific Use Permit (SUP) to allow a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a flag pole on an existing motor vehicle dealership (*i.e. Clay Cooley Hyundai*) being a 4.39-acre parcel of land identified as Lot 1, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

### BACKGROUND

The subject property was annexed on December 3, 1985 by *Ordinance No. 85-69 (Case No. A1985-002)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The subject property remained zoned Agricultural (AG) District until June 6, 2005 when the City Council approved *Ordinance No. 05-25 (Case No. Z2005-019)* changing the zoning to a Light Industrial (LI) District. The building on the subject property was constructed as a house of worship (*i.e. Church of Christ*) in 1990 and was remodeled in 2012-2013 after the City Council approved *Ordinance No. 12-11 (Case No. Z2012-005)* -- on June 18, 2012 -- allowing a *New Motor Vehicle Dealership* on property. The changes to the exterior of the building were approved under site plan *Case No. SP2012-010* on June 12, 2012.

On January 14, 2013, the then owner of the property applied for a sign variance to [1] allow two (2) pole signs along the IH-30 frontage road (*i.e. a 40-foot tall sign with 400 SF of sign area and a 50-foot tall sign with 600 SF of sign area*), [2] to have the 40-foot tall pole sign situated one (1) foot from the property line, [3] allow a 600 SF electronic message display, and [4] to have a 16-foot tall by 16-foot wide (*i.e. 256 SF*) wall sign. At the time, the code allowed one (1) pole sign a maximum of 30-foot tall and 167 SF in size to be situated on a property as long as it was setback a minimum of ten (10) feet from all property lines. In addition, wall signs were permitted to be a maximum of six (6) feet tall and six (6) feet wide. This request was approved by the City Council on January 22, 2013 and the permits for these signs (*Case No.'s SGN2013-015 & SGN2013-0017*) were issued on February 7, 2013 (*see attached packet for elevations of the existing signage*).

In 2017, the current owner purchased the property, and no additional changes have been made to the subject property since the completion of the remodel in 2013.

### PURPOSE

The applicant -- *Nabiha Saeed* -- is requesting the approval of a Specific Use Permit (SUP) to allow a *structure that exceeds 60-feet in height* in a Light Industrial (LI) District for the purpose of constructing a 120-foot flag pole in conjunction with an existing motor vehicle dealership.

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1540 E. IH-30 and is currently being used as a motor vehicle dealership (*i.e. Clay Cooley Hyundai of Rockwall*). The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the eastbound frontage roads for IH-30, followed by the main lanes for IH-30, and the westbound frontage roads. Beyond this are three (3) parcels of land currently occupied by an appliance store (*i.e. North Texas Appliance*), a house of worship (*i.e. Landmark Fellowship Church*), and a multi-tenant facility consisting of two (2) metal buildings. All of these properties are zoned Light Industrial (LI) District.

South: Directly south of the subject property is a dedicated 60-foot right-of-way followed by a 2.40-acre parcel of vacant land (*i.e. Lot 1, Block 2, Rockwall Recreational Addition*) zoned Light Industrial (LI) District. South of this parcel of land is a 21.684-acre tract of vacant land (*i.e. Tract 4-09 of the N. M. Ballard Survey, Abstract No. 24*) zoned Light Industrial (LI) District.

East: Directly east of the subject property is a new motor vehicle dealership (*i.e. Rockwall Honda*), which is situated on an 8.686-acre parcel of land (*i.e. Lot 1, Block 1, Honda of Rockwall Addition*) that is zoned Commercial (C) District. Beyond this are two (2) vacant tracts of land (*i.e. Tract 2 of the J. Lockhart Survey, Abstract No. 134 and Tract 3 of the J. M. Allen Survey, Abstract No. 2*) that are zoned Commercial (C) District.

West: Directly west of the subject property is Commerce Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an overflow sales/inventory storage lot for the motor vehicle dealership operating on the subject property (*i.e. Clay Cooley Hyundai of Rockwall*). This property is zoned Light Industrial (LI) District and has a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership* (*i.e. S-189; Ordinance No. 18-22*). Beyond this are two (2) metal buildings (*i.e. Warehouse Pro and Elliott Electric Supply*) on one (1) tract of land (*i.e. Tract 4-4 of the N. M. Ballard Survey, Abstract No. 24*) and one (1) parcel of land (*i.e. Lot 1, Block A, Lane Business Park Addition*). These properties are zoned Planned Development District 31 (PD-31) for limited Heavy Commercial (HC) District land uses and Planned Development District 26 (PD-26) for limited Light Industrial (LI) District land uses.

## CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, concept plan, and building elevations depicting the construction of a 120-foot flag pole on the subject property, which is currently occupied with an existing motor vehicle dealership (*i.e. Clay Cooley Hyundai of Rockwall*). The flag pole will be located adjacent to the western façade of the existing motor vehicle dealership building, next to the service porte-cochere. Staff estimates that the flag pole will be located ~137-feet from the northern property line adjacent to the IH-30 frontage road, and ~95-feet from the western property adjacent to Commerce Street.

## CONFORMANCE WITH THE CITY'S CODES

According to Subsection 03.04, *Flag Poles*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), "(f)lag poles are permitted in all districts, but must meet the building height and setback requirements for each district." In this case, the subject property is zoned Light Industrial (LI) District, which according to Article 05, *District Development Standards*, of the Unified Development Code (UDC) the maximum height is 60-feet; however, this section also allows the building height to be increased to 120-feet if approved through a Specific Use Permit (SUP). As stated above, the applicant is requesting the maximum height of 120-feet. The proposed flag pole will meet all of the required setbacks stipulated by Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

## STAFF ANALYSIS

Staff has reviewed all properties in the IH-30 corridor and determined that: [1] no other property has a flag pole that exceeds 60-feet in height, and [2] no Specific Use Permits (SUPs) have been approved allowing a structure to exceed 60-feet in height. Staff has also reviewed all other *New Motor Vehicle Dealerships* located in the IH-30 corridor and determined that all of these properties currently have flag poles that appear to be 60-feet in height conforming to the *by-right* height permitted by the Unified Development Code (UDC). For the review of the City Council, staff has provided images of the flag poles in front of the *New Motor Vehicle Dealerships* in the IH-30 corridor. With all this being said, a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

## NOTIFICATIONS

On August 15, 2020, staff mailed 16 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) response in favor of the applicant's request.

## CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request to for a Specific Use Permit (SUP) to allow *a structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a 120-foot flag pole, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
  - (a) The development of a flag pole on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) The construction of a flag pole on the *Subject Property* shall generally conform to the Flag Pole Elevations depicted in *Exhibit 'C'* of the draft ordinance.
  - (c) The proposed flag pole shall not exceed a maximum overall height of 120-feet as measured from grade.
  - (d) The flag shall be maintained in good condition free of tears, rips, fraying, or fading.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## PLANNING AND ZONING COMMISSION

On September 15, 2020, the Planning and Zoning Commission approved a motion to recommend denial of the Specific Use Permit (SUP) by a vote of 5-1, with Commissioner Welch dissenting and Commissioner Conway absent. According to Subsection 02.03(G), *Protest of a Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(i)f such change [*zoning change or Specific Use Permit (SUP)*] is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval."

132 Commissioner Deckard also asked what the timeline was for talking to TX Dot. Mr. Miller addressed the question and explained what the  
133 process would be for getting together for TXDot.

134 Commissioner Thomas asked if the applicant if they had considered public density with the project

135 Commissioner Womble asked about the entrance and its placement and the reasoning behind it.

136 Commissioner Deckard wanted clarification in regards to traffic and streets patrons would be using.

137 Commissioner Womble asked if which entrance would be the most preferable one.

138 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward.

139  
140  
141  
142  
143  
144  
145 Justin Scroggs  
146 1512 S. Alamo Road  
147 Rockwall, TX 75087

148 Mr. Scroggs came forward and expressed his opposition to the case. His main concerns are traffic, noise and light pollution, and  
149 loitering.

150  
151  
152 Chuck Scroggs  
153 813 S. Alamo Road  
154 Rockwall, TX 75087

155 Mr. Scroggs came forward and expressed his opposition in regards to the case. His main concern is his house losing value.

156  
157  
158 Chris Brannon  
159 810 S. Alamo Road  
160 Rockwall, TX 75087

161 Mr. Brannon came forward and expressed his opposition in regards to the request.

162  
163  
164 Joe Rochier  
165 901 S. Alamo Road  
166 Rockwall, TX 75087

167 Mr. Rochier came forward and expressed his opposition in regards to the request.

168 Chairman Chodun asked if anyone else wished to speak; there being no one doing such. Chairman Chodun closed the public hearing  
169 and asked the applicant to come forward once again to respond to comments.

170 Mr. Stansberry (applicant) came forward and responded to comments made by property owners and residents.

171 Chairman Chodun brought the item back to the Commission for discussion or action.

172 Commissioner Deckard asked what the permitted use was at the moment. Commissioner Moeller expressed that he disagreed with the  
173 location of the restaurant. Chairman Chodun also expressed his disapproval to the request.

174 Vice-Chairman Welch made a motion to deny item Z2020-035. Commissioner Moeller seconded the motion to deny which passed by a  
175 vote of 6-0.

176 Director of Planning and Zoning Ryan Miller advised the applicant and Commission that based on tonight's motion that the case would  
177 go before the City Council on September 21, 2020 and will require a ¾ majority vote.

178  
179  
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181  
182  
183  
184  
185  
186 **8. Z2020-036 (RYAN MILLER)**

187 Hold a public hearing to discuss and consider a request by Nabih Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the  
188 approval of a *Specific Use Permit (SUP)* to allow a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of  
189 constructing a flag pole on an existing motor vehicle dealership (*i.e. Clay Cooley Hyundai*) being a 4.39-acre parcel of land identified as Lot 1,  
190 Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30  
191 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

192  
193 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. Mr. Miller also provided background in  
194 regards to the variances requested in the past by the applicant. All of these were approved and the dealership was founded in 2012. This  
195 time the applicant is requesting to establish a flag pole up to 120-feet. According to the Unified Development Code, a flag pole is treated  
196 the same as any structure meaning it is subject to the same height requirements. With this property being in a Light Industrial (LI)  
197 district, structures are allowed to go up to 60-feet by right and also allows the ability for additional height up to 120-feet with a Specific  
198 Use Permit. In this case, the applicant is requesting the maximum at 120-feet for a flag pole. Since this is requires an SUP, it is a  
199 discretionary decision to the City Council pending a recommendation from the Planning and Zoning Commission. Staff sent out 16

200 notices to property owners and resident within 500-feet of the subject property. Mr. Miller advised the Commission that the applicant and  
201 Staff were present to answer questions.

202  
203 Chairman Chodun asked the applicant to come forward.

204  
205 Steve Symonds  
206 7503 Flagstone  
207 Fort Worth, TX 76118  
208

209 Mr. Symonds (representative) came forward and advised that he was ready to answer questions.

210  
211 Commissioner Deckard asked what the pole was rated for and how big the flag was that it could fly.

212  
213 Chairman Chodun opened the public hearing and asked anyone who wished to speak to come forward at this time.

214  
215 Bob Wacker  
216 309 Featherstone  
217 Rockwall, TX 75087  
218

219 Mr. Wacker came forward and asked if staff could limit the permit to only display the American flag.

220  
221 Chairman Chodun asked if anyone else wished to speak; there being no one doing such, Chairman Chodun closed the public  
222 hearing and brought the item back for discussion or action.

223  
224 Commissioner Thomas expressed his concern as to not being able to dictate what could be flown on the pole.

225  
226 Commissioner Moeller expressed that the 60-foot limit is appropriate and did not support anything higher than 60 feet.

227  
228 Commissioner Deckard asked if this would be the highest structure in Rockwall.

229  
230 Commissioner Moeller made a motion to deny item Z2020-036. Commissioner Womble seconded the motion which passed by a vote of  
231 5-1 with Vice-Chairman Welch dissenting.

232  
233 Chairman Chodun advised the applicant that based on tonight's motion that the case would go before the City Council on September 21,  
234 2020 and will require a ¾ majority vote.  
235

236 9. Z2020-037 (RYAN MILLER)

237 Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad  
238 Holdings, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In* on a  
239 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned  
240 Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed  
241 as 150 Pecan Valley Drive, and take any action necessary.  
242

243 Planning and Zoning Director Ryan Miller provided a brief summary in regards to the request. The applicant originally requested the  
244 approval of an SUP for the restaurant with less than 2,000 square feet in a General Retail (GR) District. It went to the work session and  
245 was withdrawn by the applicant at that time. The applicant resubmitted the same request and took it forward to which she was ultimately  
246 denied by this Board and requesting to withdraw the case at City Council. The proposed request has now been submitted three times  
247 and it is the same that was proposed last time with the exception of knowing what the restaurant is and the applicant adding a walking  
248 trial. As was explained earlier, certain uses are not permitted in GR areas due to their close proximity to residential streets. In this case,  
249 the applicant does meet the screening requirements and stacking requirements. Quail Run Road is considered to be a residential  
250 roadway and what is not being met is that their only access road is off of that residential roadway. Other non-conformance issues are  
251 the lack of parking spaces and the trash enclosure is facing Pecan Valley which, according to the ordinance, cannot be facing a public  
252 street. Another waiver would be the driveway spacing requirement as it is only 37 feet from the intersection where the minimum is 100-  
253 feet. Staff sent out 35 notices to property owners and residents within 500-feet of the subject property and 13 came back in opposition of  
254 the case with 1 being in favor. Staff also notified the Shores at Lake Ray Hubbard, Random Oaks, Stone Creek, Quail Run, and Lakeview  
255 Summit Homeowner Associations as they were the ones within 1500-feet from the subject property. Mr. Miller then advised that the  
256 applicant and Staff were present and available to answer questions.  
257

258 Commissioner Deckard asked what the max capacity would be at the restaurant.

259  
260 Chairman Chodun asked if there was an issue with part of the property being in a flood zone.

261  
262 Chairman Chodun asked the applicant to come forward.

263  
264 Casey Orr (Engineer)  
265 121 S. Main Street  
266 Henderson, TX 75654  
267

**SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.**

The motion passed by a vote of 7 ayes to 0 nays.

2. **Z2020-035** - Hold a public hearing to discuss and consider a request by Allen Anderson of Adlor Enterprises, LLC for the approval of an ordinance for a *Specific Use Permit (SUP)* to allow a *Restaurant with 2,000 SF or More with Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 1.1308-acre parcel of land identified as Lot 1, Block B, Jack Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 62 (PD-62) for General Retail (GR) District, addressed as 902 & 906 S. Goliad Street [SH-205], and take any action necessary (**1st Reading**).

Planning Director, Ryan Miller, indicated that the applicant has made a request to be able to withdraw this request. The applicant indicated that they will be withdrawing and terminating the contract on the property.

Mayor Pro Tem Fowler moved to allow the applicant to withdraw. Councilmember Daniels seconded the motion, which passed by a vote of 6 ayes to 1 nay (Pruitt).

3. **Z2020-036** - Hold a public hearing to discuss and consider a request by Nabiha Saeed of Symonds Flags and Poles, Inc. on behalf of Clay Cooley for the approval of an ordinance for a *Specific Use Permit (SUP)* to allow a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* for the purpose of constructing a flag pole on an existing motor vehicle dealership (i.e. *Clay Cooley Hyundai*) being a 4.39-acre parcel of land identified as Lot 1, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary. (**1st reading**)

Planning Director Ryan Miller provided background information pertaining to this agenda item. Notices were sent out to adjacent property owners and residents. One notice was received back in favor. In addition, the Planning & Zoning Commission voted 5-1 to recommend denial of this request this evening. As a result, its approval will require a 6-1 vote of Council this evening.

Steve Simons  
4513 Dartmoor Lane  
Colleyville, TX

Mr. Simons handed out ordinance regulations for some other cities (i.e. Lewisville) regarding their regulations on U.S. flags and associated flag poles. He shared that Mr. Cooley has very tall U.S. flag poles at his dealerships in Irving, TX. He understands that 120' flag pole is the tallest that the City of Rockwall may potentially approve.

Mayor Pruitt opened the public hearing, asking if anyone would like to come forth and speak. There being no one indicating such, he then closed the public hearing.

Councilmember Johannesen moved to deny Z2020-036. Councilmember Hohenshelt seconded the motion. Following brief discussion, the motion to deny the request passed by a vote of 7 ayes to 0 nays.

City Attorney Frank Garza briefly weighed in, sharing that any ordinance that would attempt to regulate "content" of what is actually placed on a flag pole is a "gray area" that would pose

challenges on what is and is not Constitutional. It would have to be an ordinance that only regulated height and not content. Councilmembers Daniels and Johannesen instructed staff to go through the process of bringing back an ordinance that would change the regulations and allow increased heights for flag poles.

4. **Z2020-037** - Hold a public hearing to discuss and consider a request by Casey Orr, PE of Wier & Associates, Inc. on behalf of Chad DuBose of JCDB Goliad Holdings, LLC for the approval of an ordinance for a *Specific Use Permit (SUP)* to allow a *Restaurant with Less Than 2,000 SF with Drive-Through/Drive-In* for the purpose of constructing a restaurant with drive-through on a 0.579-acre parcel of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary. (1st reading)

Planning Director Ryan Miller provided background information pertaining to this agenda item. Notices were sent out to 35 residents and property owners located within 500' of the subject property. Thirteen responses were received back in opposition, and one notice was received back in favor. In addition, the Planning & Zoning Commission voted 4 to 2 to recommend denial of this request. As such, if it is to be approved this evening, it will require at least 6 council members to vote in favor of it.

Following brief discussion, Councilmember Johannesen moved to remand Z2020-037 back to the Planning & Zoning Commission. Councilmember Hohenshelt seconded the motion. The motion passed by a vote of 7 ayes to 0 nays.

5. **Z2020-038** - Hold a public hearing to discuss and consider a request by Ruben Segovia on behalf of Jose E. Valerio for the approval of an ordinance for a *Specific Use Permit (SUP)* to allow *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.33-acre tract of land identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and take any action necessary (1st Reading).

Planning Director Ryan Miller provided background information pertaining to this agenda item. 144 notices were sent out to adjacent property owners and residents located within 500' of the subject property; however, no notices were received back by staff.

The applicant briefly came forth and introduced himself. Mayor Pruitt opened the public hearing, asking if anyone would like to come forth and speak at this time. There being no one indicating such, he then closed the Public Hearing.

Councilmember Macalik moved to approve Z2020-038. Councilmember Johannesen seconded the motion. Following extensive discussion about septic systems being allowed on lots less than one acre (note: this will not be on city sewer service), the ordinance was read as follows:

**CITY OF ROCKWALL  
ORDINANCE NO. 20-45  
SPECIFIC USE PERMIT NO. S-236**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL,  
TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75)  
[ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC)**



September 28, 2020

TO: Clay E. Cooley  
ATTN: Mary Pinedo  
1251 E. Airport Freeway  
Irving, TX 75062

CC: Symonds Flags and Poles, Inc.  
Nabiha "Bea" Saeed  
7503 Flagstone Drive, Building 30  
Fort Worth, TX 76118

FROM: Ryan Miller, AICP  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: Z2020-036; SUP for 1540 E. IH-30

Mr. Cooley:

This letter serves to notify you that the above referenced zoning case, that you submitted for consideration by the City of Rockwall, was denied by the City Council on September 21, 2020. The following is a record of all voting records:

Planning and Zoning Commission

On September 15, 2020, the Planning and Zoning Commission approved a motion to recommend denial of the Specific Use Permit (SUP) by a vote of 5-1, with Commissioner Welch dissenting and Commissioner Conway absent. According to Subsection 02.03(G), Protest of a Zoning Change, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), "(i)f such change {zoning change or Specific Use Permit (SUP)} is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (i.e. three-fourths vote of those members present), with a minimum of four (4) votes in the affirmative required for approval."

City Council

On September 21, 2020, the City Council approved a motion to deny the applicant's request for a Specific Use Permit by a vote of 7-0.

According to Subsection 02.05, *City Council Action*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(t)he City Council may deny a request for a zoning change, Specific Use Permit (SUP), or text amendment with or without prejudice. If a request or amendment is denied with prejudice, a new application may not be submitted for the same lot or tract of land -- or any portion thereof -- for a period of one (1) year unless the request is for a more restrictive or less intense land use than the previously denied request ... If a request or amendment is denied without prejudice, no restrictions on resubmitting an application shall apply (i.e. an application for the same request may be filed at the applicant's discretion). A failure to indicate a denial is with or without prejudice in making a motion to deny a request or amendment shall be considered a denial with prejudice." Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me a (972) 771-7745.

Sincerely,

Ryan Miller, AICP  
Director of Planning and Zoning

CITY OF ROCKWALL

ORDINANCE NO. 26-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *STRUCTURE THAT EXCEEDS 60-FEET IN HEIGHT IN A LIGHT INDUSTRIAL (LI) DISTRICT* TO ALLOW THE CONSTRUCTION OF TWO (2) FLAG POLES ON A 4.39-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 3, BLOCK 1, ROCKWALL RECREATIONAL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Davin Marceau of the Charles Morgan Group, LP on behalf of Chase Cooley for the approval of a Specific Use Permit (SUP) for a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* to allow the construction of two (2) flag poles on an existing, new motor vehicle dealership on a 4.39-acre parcel of land being described as Lot 3, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *structure that exceeds 60-feet in height in a Light Industrial (LI) District* to allow the construction of two (2) flag poles on an existing motor vehicle dealership in accordance with Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, the Unified

Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.04, *Flag Poles*, of Article 04, *Permissible Uses*, and Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

### 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction and continued operation of two (2) flag poles on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of two (2) flag poles on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of two (2) flag poles on the *Subject Property* shall generally conform to the Flag Pole Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) The proposed flag poles shall not exceed a maximum overall height of 120-feet as measured from grade.
- 4) The flags shall be maintained in good condition free of tears, rips, fraying, or fading.

### 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of

any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 2<sup>ND</sup> DAY OF MARCH, 2026.**

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: February 17, 2026

2<sup>nd</sup> Reading: March 2, 2026

**Exhibit 'A'**  
*Location Map and Survey*

Address: 1540 E. IH-30

Legal Description: Lot 3, Block 1, Rockwall Recreational Addition

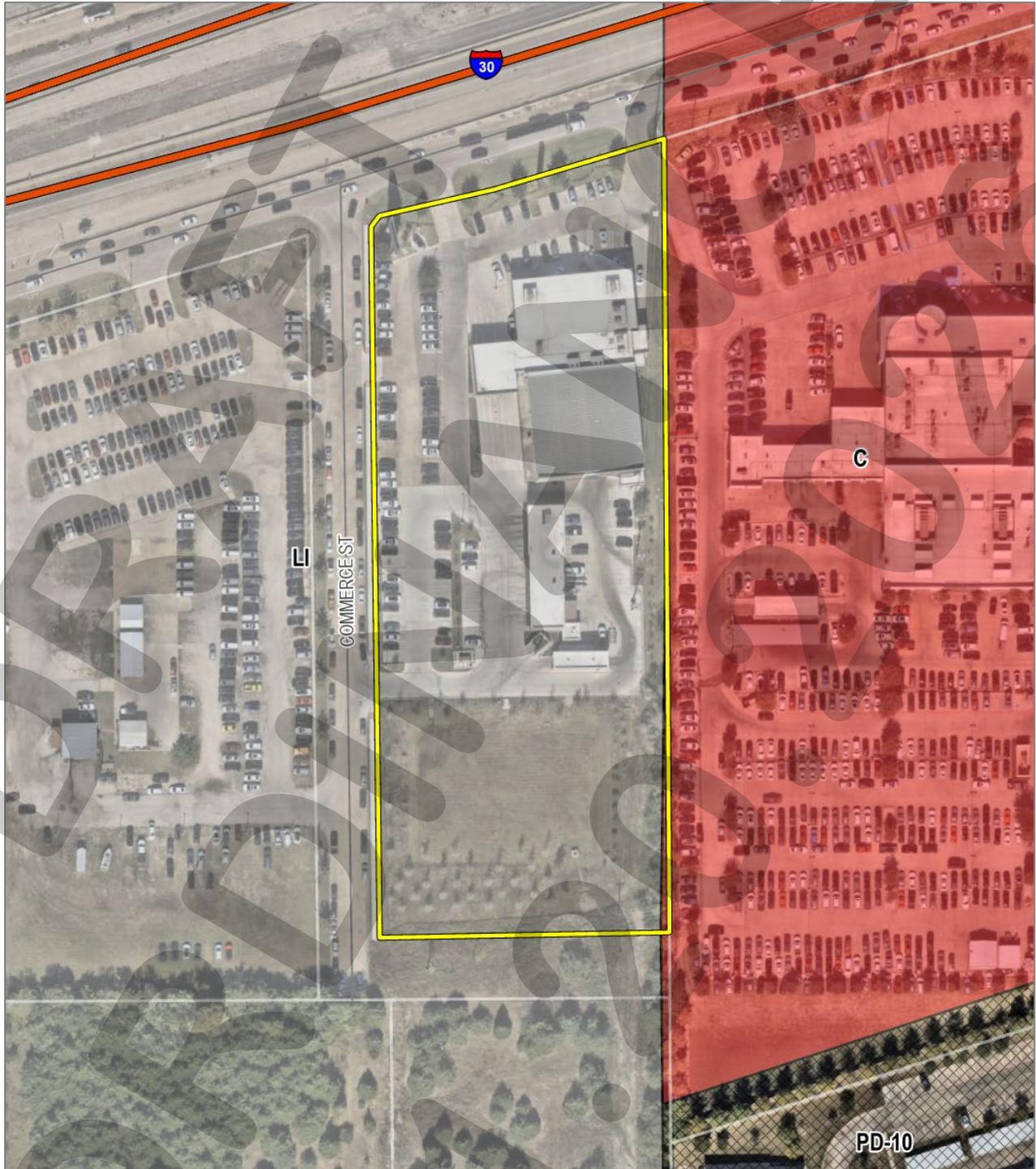
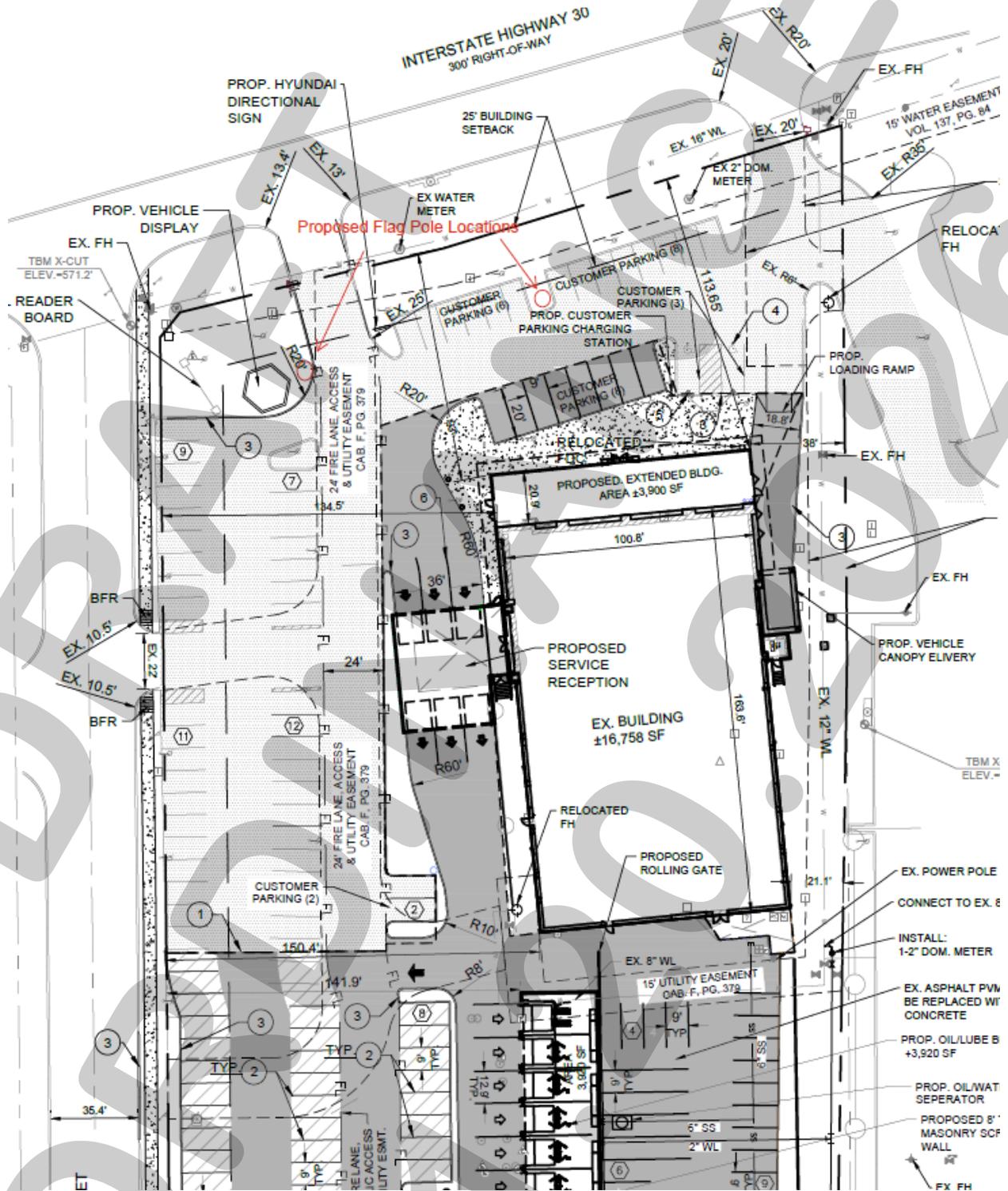
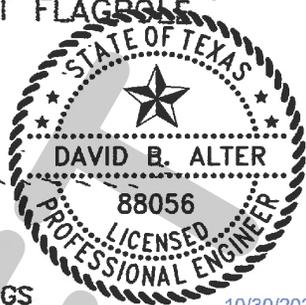


Exhibit 'B':  
Concept Plan



**Exhibit 'C':  
Flag Pole Elevations**

**DIMINISHING SECTION STEEL  
CONCEALED HALYARD  
GROUND SET FLAGPOLE**



**STANDARD FITTINGS**

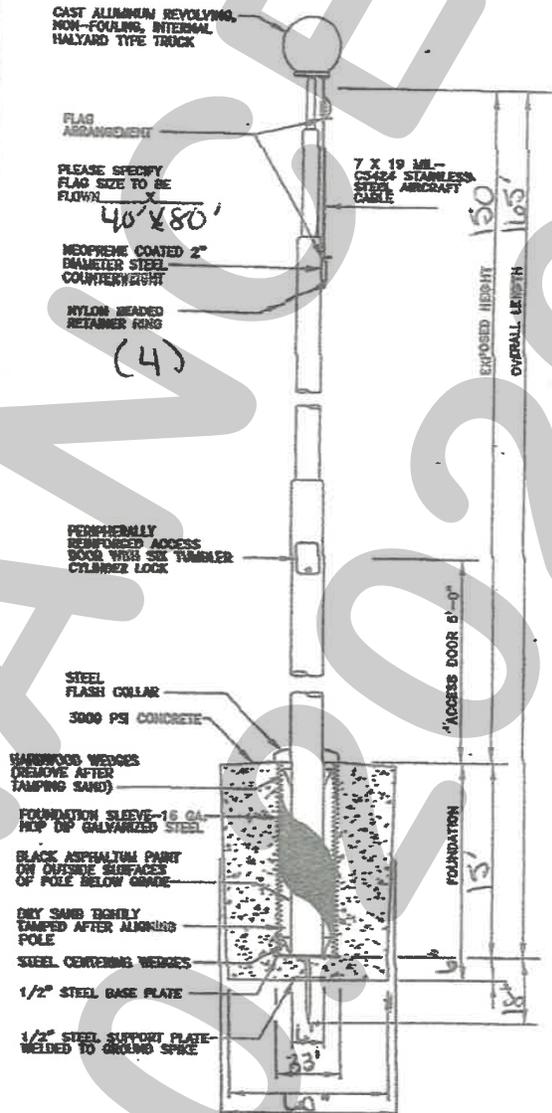
**FINAL:** (The flagpole division of NAAMM recommends that no Final, other than the internal Halyard Truck itself be used on the Concealed Halyard Flagpole.) 10/30/2025

**TRUCK:** Heavy duty, cast aluminum, internal halyard type, revolving non-fouling, gold powder coated, equipped with upper and lower sealed bearings assemblies and a stainless steel spindle for flagpoles up to 130". Larger flagpoles will come with two spun steel hemispheres, automotive type sealed bearing assemblies and a welded in steel spindle.

**HALYARD:** Halyard and flag arrangement are 1/8" and 3/16" stainless steel aircraft cable, with attachment ends crimped over 1/8" stainless steel yokes and joined by a stainless steel quicklink. Cable is two piece, joined by a stainless steel swivel at mid-point. The flag arrangement is sized to accommodate an appropriate size flag and is supplied complete with two heavy duty swivel snaps, neoprene coated counterweight, and beaded nylon retainer rings.

**WINCH:** Stainless steel, direct drive, accessible for maintenance only through a reinforced access opening, which is covered by a removable door finished to match flagpole shaft and contains a six tumbler cylinder lock. Winch is gearless, operable only by a removable crank handle and locks in any position upon removal of the crank handle.

**FOUNDATION TUBE:** Fabricated from 16GA. galvanized steel, with a steel base plate whose square dimension is 4" larger than the I.D. of the sleeve. A seiffing plate 6" square is securely welded to the ground spike 5" below the base plate. The ground spike is 3/4" diameter and 36" in length.



PROJECT NO.	GROUND SET DIM. SECTION STEEL FLAGPOLE		
LOC. 1540-I 30	EXP. HT. 150'	OVERALL HT. 165'	NO. OF SEC. 5
ARCHT:	BUTT. DIA. 24"	TOP DIA. 10 3/4"	WALL THICKNESS .375"
CONT. R:	SH. IN 5	SEC.	FINISH: Powder Coat
CUST: Clay Cooley Hyundai	Rockwall		White

*TX Flag  
40' x 80'*

EXPOSED HEIGHT	OVERALL LENGTH	TOP DIAMETER	BOTTOM DIAMETER	BUTT WALL THICKNESS	SHIP SECTIONS	NO. OF SECTIONS	FLAG SIZE	SHIPPING WEIGHT
150'	165'	10 3/4"	24"	.375"	5	5	40' x 80'	15,000 lbs

**WARNING:** Extreme Caution should be exercised when installing flagpoles near overhead power lines, or in the vicinity of buried cables.



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Mayor and City Council

**DATE:** January 20, 2026

**APPLICANT:** Gage Raba; Huntington Properties, LTD

**CASE NUMBER:** Z2025-077; *Zoning Change from Commercial (C) District and Light Industrial (LI) District to Planned Development District for limited Commercial (C) District land uses*

### SUMMARY

Hold a public hearing to discuss and consider a request by Gage Raba of Huntington Properties, LTD on behalf of Tina Cox of Temunovic Partnership LTD for the approval of a Zoning Change from a Light Industrial (LI) and a Commercial (C) District to a Planned Development District for Commercial (C) District land uses for a 32.79-acre tract of land identified as Tracts 3, 3-01, 3-2, 3-3, and 3-4 of the J. Lockhart Survey, Abstract No. 134; Lot 1 of the Eastplex Industrial Park Addition; and, Lot 2, Block A, Eastplex Industrial Park No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District and Light Industrial (LI) District, situated within the SH-205 Bypass Overlay (SH-205 BY OV) District and the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of the intersection of the IH-30 Frontage Road and S. John King Boulevard, and take any action necessary.

### BACKGROUND

The subject property was annexed by the City Council on September 16, 1974 by *Ordinance No. 74-28 [Case No. A1974-008]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the May 16, 1983 *Zoning Map*, the subject property was rezoned from an Agricultural (AG) District to a Light Industrial (LI) District and Commercial (C) District at some point between annexation and May 16, 1983. The subject property has remained vacant since annexation.

### PURPOSE

On August 16, 2024, the applicant -- *Gage Raba of Huntington Properties, LTD* -- submitted a development application requesting to change the zoning of the subject property from a Commercial (C) District and Light Industrial (LI) District to a Planned Development District for limited Commercial (C) District land uses. Specifically, the applicant is requesting approval of a *Concept Plan* illustrating the overall development framework and a proposed Planned Development District ordinance that outlines the commercial land uses and development standards for the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest corner of the intersection of the IH-30 Frontage Road and S. John King Boulevard. The land uses adjacent to the subject property are as follows:

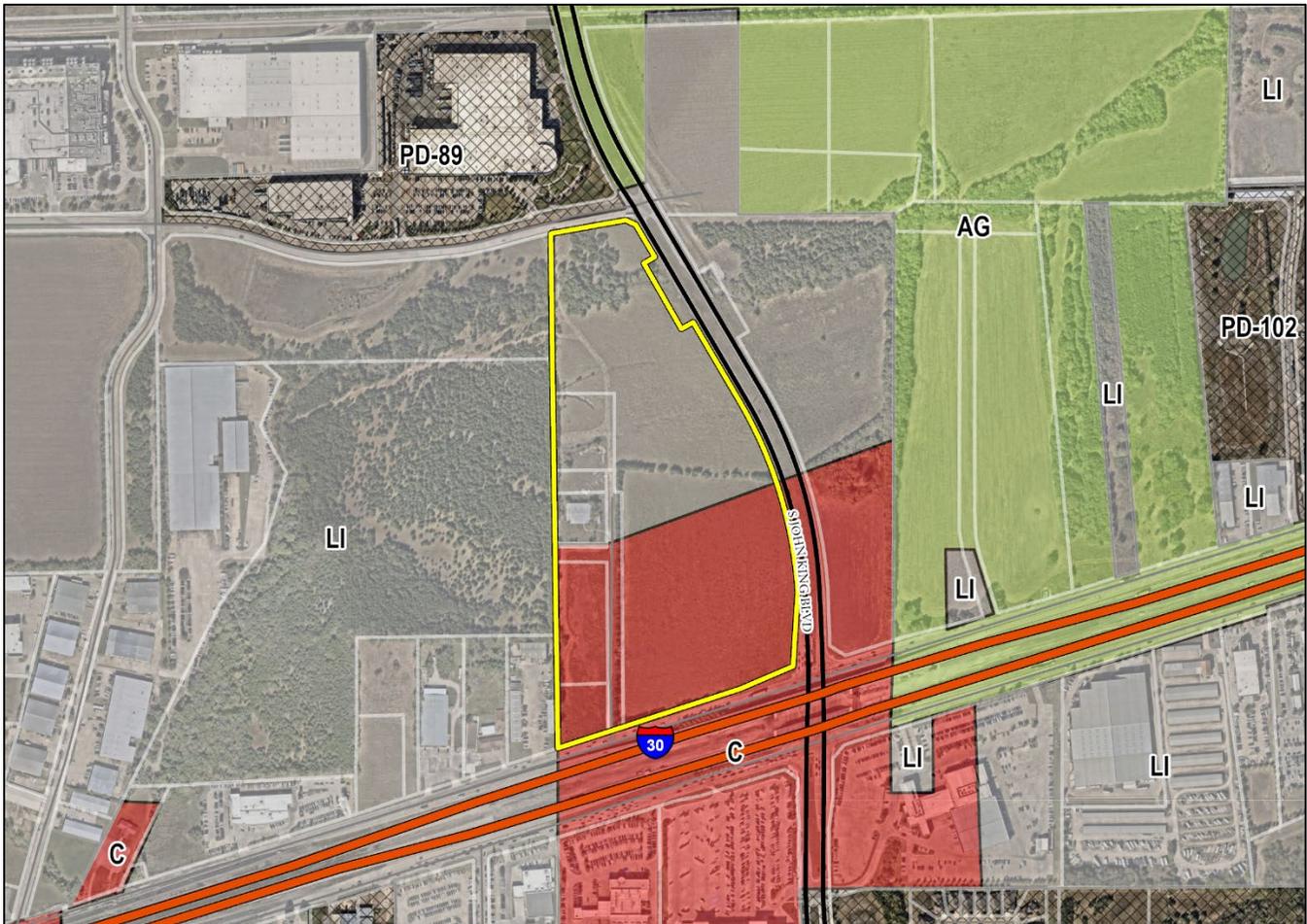
North: Directly north of the subject property is Justin Road, which is identified as a A4D (*i.e. major arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 18.7620-acre parcel of land (*i.e. Lot 3, Block A, Channel Subdivision*) zoned Planned Development District 89 (PD-89). North of this parcel is a 120-foot railroad right-of-way, which is owned by the *Union Pacific/Dallas Garland N.E. Railroad*. Beyond this a 10.00-acre parcel of land (*i.e. Lot 1, Rockwall Service Center and Park Addition*) which is developed with a Government Facility (*i.e. the City's Service Center*) and zoned Light Industrial (LI) District. North of this is Airport Road, which is designated as a M4U (*i.e. major collector, four [4] Lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is the westbound lanes of the IH-30 Frontage Road, followed by the main lanes of IH-30, and the eastbound lanes of the IH-30 Frontage Road. Beyond that is a 5.007-acre tract of land (i.e. Lot 1, Block A, HEB Addition) which is developed with a 127,000 SF Grocery Store (i.e. HEB) zoned Commercial (C) District.

East: Directly east of the subject property is John King Boulevard, which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 18.5175-acre tract of land (i.e. Tract 3-5, of the J Lockhart Survey, Abstract 134), which is zoned Light Industrial (LI) District and Commercial (C) District. Beyond this is a 10.026-acre vacant parcel of land (i.e. Lot 1, Block A, Rockwall Commercial Park) which is zoned Agricultural (AG) District and Light Industrial (LI) District. Beyond that is a 60-foot right-of-way for a future roadway that is identified as an A4D (i.e. arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is a 10.5689-acre vacant parcel of land (i.e. Lot 1, Block B, Rockwall Commercial Park) that is zoned Agricultural (AG) District. Beyond this is a 6.975-acre vacant tract of land (i.e. Tract 13, of the J. Lockhart Survey, Abstract No. 134) that is zoned Agricultural (AG) District.

West: Directly west of the subject property is Enterprise Drive which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 1.087-acre vacant tract of land (i.e. Tract 3, of J Lockhart Survey, Abstract 134) that is zoned Commercial (C) District. Beyond this is a 2.023-acre tract of land (i.e. Tract 16, of the A. Hanna Survey, Abstract 99) that is developed with a multi-tenant industrial complex and zoned Light Industrial (LI) District.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



## **CHARACTERISTICS OF THE REQUEST**

The applicant has submitted a *Concept Plan* for a mixed-use commercial development generally located along the IH-30 Frontage Road and John King Boulevard, with primary access being provided from John King Boulevard and Enterprise Drive. The request is based on a *Concept Plan* intended to illustrate the overall development vision, including site circulation, land use distribution, and the relationship of proposed buildings to public rights-of-way and adjacent properties.

The *Concept Plan* illustrates a multi-lot commercial development organized around a network of internal drive aisles and shared parking areas. The site is divided into multiple lots, each containing individual building footprints. The proposed land uses for these lots include retail and restaurant buildings, several quick-service restaurants, a fitness facility, a bank, a convenience store with fuel pumps, and a car wash. These uses are situated on separate lots surrounding a centralized retail strip center with open space and are generally consistent with those permitted in the Commercial (C) District. Additional land use restrictions have been incorporated through the Planned Development District ordinance, and staff has removed any land uses that could be inconsistent with the intent of the *IH-30 Corridor Plan*.

The *Concept Plan* also identifies the existing floodplain and detention areas located at the northern portion of the property, along with required landscape buffers and a ten (10) foot hike-and-bike trail adjacent to John King Boulevard. Additionally, the plan depicts a proposed 60-foot right-of-way for a future collector street connecting John King Boulevard and Enterprise Street, in accordance with the City's *Master Thoroughfare Plan*.

## **INFRASTRUCTURE**

Based on the proposed request, when the property is developed the following infrastructure is required to be constructed to provide adequate public services for the subject property:

- (1) Water. All water improvements shall be installed in accordance with *Infrastructure Study* approved by the City of Rockwall. In addition, the applicant will be required to construct all water lines in accordance with the Engineering Department's *Standards of Design and Construction Manual* and the Master Water Plan. The plan indicates that a new 12-inch water line is to be installed within an easement along John King Boulevard. A new 12-inch waterline shall be installed bisecting the property in an easement running adjacent to the future *Minor Collector* as depicted on the Master Thoroughfare Plan.
- (2) Wastewater. All on-site and off-site wastewater improvements shall be installed in accordance with *Infrastructure Study* approved by the City of Rockwall. In addition, the applicant will be required to construct all wastewater lines in accordance with the Engineering Department's *Standards of Design and Construction Manual* and the Master Wastewater Plan.
- (3) Roadways. All roadway and driveway improvements associated with the development are required to comply with the City's adopted *Engineering Standards of Design and Construction Manual*. All proposed driveways connecting to public roadways must meet City driveway spacing standards and any driveways connecting to IH-30 must meet the minimum spacing standards for the Texas Department of Transportation (TXDOT). Internal circulation roadways are expected to align with the approved layout, maintain adequate width and geometry for emergency access and service vehicles, and avoid conflicts with floodplain areas, easements, and required buffers. All roadway design, pavement sections, and access locations are subject to verification and final approval at the engineering plan submittal stage, consistent with City standards and the conditions noted within the Engineering markups and comments provided to the applicant. Additionally, the plans indicate several driveways onto Enterprise Drive that do not currently meet the 200-foot spacing requirement per the Engineering Department's *Standards of Design and Construction Manual*. No variance will be considered for this driveway spacing discrepancy, as it presents a documented safety concern and creates an unacceptable risk to the traveling public. Furthermore, the internal circulation network, as currently shown, does not demonstrate compliance with minimum maneuverability, emergency access, and turnaround requirements, and may require substantive redesign at the site plan stage. In addition, the *Concept Plan* does not fully demonstrate compliance with the City's Master Thoroughfare Plan, including required right-of-way dedication, roadway construction, and intersection improvements for the construction of the future *Minor Collector* connecting Enterprise Drive to John King Boulevard. Finally, a Traffic Impact Analysis (TIA) will be required for this site.
- (4) Drainage. Detention will be required and sized per the Engineering Department's *Standards of Design and Construction Manual* and the required drainage study. Currently, the *Concept Plan* depicts detention areas that are not clearly associated

with a developable lot, which is inconsistent with the Engineering Department's *Standards of Design and Construction Manual*. Detention configuration must be corrected prior to site plan approval and may affect lot layout, circulation, and developable area.

- (5) Signage. Signage shall be located outside of any easements. No variance will be considered for this. Staff should note that several proposed features appear to encroach into required utility or drainage easements and will need to be relocated, potentially affecting signage visibility, landscaping, and site aesthetics.

### **CONFORMANCE TO THE CITY'S CODES**

The proposed Planned Development District conforms to the majority of the City's adopted development regulations; however, the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's *Standards of Design and Construction Manual* with regard to following respects:

#### General Standards

- (1) Building Materials. According to the *General Overlay District Standards* contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC), all buildings in an *Overlay District* are required to be constructed with: [1] 90.00% *Primary Materials*, [2] 20.00% natural or quarried stone, [3] have no more than 50.00% cementitious materials, and [4] incorporate accent brick and stone. *Primary Materials* in this case are defined as "...stone, brick, glass curtain wall, glass block, tile, and custom Concrete Masonry Units (i.e. CMUs that have been sandblasted, burnished or that have a split face -- light weight block or smooth faced CMU shall be prohibited)." In this case, the proposed Planned Development District stipulates that the subject property shall be subject to the *General Overlay District Standards*; however, *Buildings 10A, 10B, 10C & 10D -- as depicted in the Concept Plan in Exhibit 'C' -- do not depict the use of any natural or quarried stone on any façade. Based on this, these buildings will not meet this aspect of the Unified Development Code (UDC).*
- (2) Parking. According to the *General Overlay District Standards* contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC), the placement of parking areas between primary building façades and adjacent public rights-of-way is limited to two (2) rows of parking (i.e. one [1] row of parking spaces, a 24-foot drive aisle, followed by another row of parking spaces) in order to promote a pedestrian-oriented streetscape and enhanced visual character along major corridors. As depicted on the submitted *Concept Plan*, the proposed fitness building is oriented such that a substantial parking field is located between the building and the public right-of-way, which is inconsistent with these standards. This configuration diminishes the intended street-facing relationship of the building, weakens the pedestrian environment, and does not reflect the development pattern envisioned for properties within the IH-30 Corridor. As a result, the parking layout associated with the fitness building does not conform to the *General Overlay District Standards*.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *IH-30 Corridor District* and is designated for *Special Commercial Corridor* land uses. The *Plan* defines the *Special Commercial Corridor*, as a "...land use designation [that] is intended to provide an area for commercial/retail and regional commercial/retail activity centers that are intended to support and serve the entire region." The *Primary Land Uses* listed under this land use designation include: *Regional Shopping Center, Entertainment, Retail, Personal Services, Restaurant, Corporate Offices, Employment, and Recreation* land uses; and, the *Secondary Land Uses* listed under this land use designation include: *Residential, Open Space, Parks, Trails, Banks, Service Stations, and Institutional/Civic* land uses. The *Plan* also states that the secondary land uses should be *integrated* into the larger development. In addition, the *District Strategies* for the *IH-30 Corridor District* stipulated certain properties within the corridor should be reserved for *Regional Centers* and follow the recommendations contained within the *IH-30 Corridor Planning Study*.

According to the *IH-30 Corridor Planning Study*, the proposed development is characteristic of a *Strip Retail Center Model*. The plan defines the area that the subject property is in as *Corridor Zone 3*, and designates it as a *Transitional Zone*. A *Transitional Zone* is defined as "...a segment of the existing corridor that is currently underutilized due to incompatible land uses, building design, commercial densities, and/or land uses that do not maximize tax potential ..."; however, since the property is strategically located at a major intersection within the City and is currently vacant it was identified as *Strategically Located Property #3*.

Based on the public meetings for the *Planning Study, Strategically Located Property #3* was determined to be suitable for "...a *Mixed-Use Center* or a *Town Center*. This designation is due to the location and visibility of the property, and that it is located near and accessible from two (2) major roadways (*i.e. John King Boulevard and Justin Road*) and a major highway (*i.e. IH-30*). With this being said the property is situated below the highway overpass and as a result the site has limited visibility for a single-story structure. Structures that are two (2) and three (3) stories in height would be better suited for this property."

In this case, the applicant is proposing a *Health Club/Gym*, several restaurants -- *both with and without drive-throughs or drive-ins* --, a retail store with gasoline sales, a carwash, and several retail businesses. While many of the proposed land uses are permitted within a *Regional Center*, the development appears to follow a *Strip Retail Center* model as opposed to a *Mixed-Use Center* or *Town Center* model. Based on this, the project does not appear to be in conformance with the *IH-30 Corridor District* or its *District Strategies*.

With regard to the policies and goals for commercial development contained in the Comprehensive Plan, the applicant's request does *not* incorporate the majority of the objectives contained within the plan into the proposed Planned Development District ordinance. As such, staff has identified the following areas of non-conformity and provided the following recommendations to the applicant:

- (1) CH. 01; Section 02.03; Goal #1 | Policy #3 (Page 1-2). Strip commercial centers should be avoided to encourage development that will not result in a sprawling community.

Staff's Response: The proposed concept plan appears to incorporate a *Strip Commercial Center* in *Buildings 10A, 10B, 10C, & 10D*. The concept plan should be changed to be more of a *Town Center* design that incorporates a mixture of uses and building heights as opposed to being a single-story *Strip Commercial Center*.

- (2) CH. 09; Section 02; Goal #1 | Policy #4 (Page 9-1). Commercial, retail, and office developments should look to create central greenspaces that are well landscaped and functional promoting increased social interaction. Central greenspaces should be connected from all points of the development, and ultimately provide connection to the City's greater trail system.



FIGURES 1 & 2: PROPOSED CENTRALIZED OPEN SPACE

Staff's Response: The proposed plan incorporates a very small functional green space centralized within the development that does not seem to connect with the rest of the development. Additionally, while trails and sidewalks are noted on the *Concept Plan*, their alignment, continuity, and integration with building entrances and open space are not clearly demonstrated and may require reconfiguration of building placements, parking areas, and lot arrangements.

- (3) CH. 09; Section 02; Goal #1 | Policy #5 (Page 9-1). The City should be proactive in pursuing regional developments at key intersections. This is especially important within the IH-30 corridor.

Staff's Response: The proposed plan does NOT appear to provide *Regional* land uses and is currently providing mostly quick service restaurants, strip retail uses, a car wash, and retail store with gasoline sales. None of these land uses are considered to be *Regional* in nature.

- (4) CH. 09; Section 02; Goal #1 | Policy #6 (Page 9-1). Developments should incorporate pedestrian elements (*i.e. benches, trash receptacles, etc.*) at regular intervals to ensure that developments are created to a pedestrian scale.

Staff's Response: Currently, the Planned Development District ordinance does NOT incorporate these elements into the proposed development; however, some of these elements are depicted in the open space renderings provided by the

applicant. These elements should be incorporated into the entire development to make the plan better conform with the Comprehensive Plan.

- (5) *CH. 09; Section 02; Goal #2 | Policy #3 (Page 9-2)*. Shopping centers and big-box retail buildings should incorporate planters, ornamental pots, and landscape beds adjacent to building façades that are visible from streets and open space.

*Staff's Response:* Currently, the Planned Development District ordinance does NOT incorporate these elements into the proposed development. This should be incorporated to better conform with the Comprehensive Plan.

- (6) *CH. 09; Section 02; Goal #4 | Policy #1 (Page 9-2)*. Non-residential buildings should be constructed of masonry materials and contain a minimum of 20% stone on every façade that faces a street, public open space, trail or park.

*Staff's Response:* The conceptual building elevations provided by the applicant only cover *Buildings 10A, 10B, 10C, & 10D*, and -- *while appearing to be 100% masonry* -- do NOT provide stone on any façade.

- (7) *CH. 09; Section 02; Goal #4 | Policy #2 (Page 9-2)*. Non-residential buildings should be architecturally finished on all four (4) sides with the same materials, detailing and features.

*Staff's Response:* The applicant has only provided building elevations for *Buildings 10A, 10B, 10C, & 10D*. Staff has included requirements that the remaining buildings adhere to the *General Overlay District Standards*.

Based on a review of the proposed Planned Development District ordinance, the applicant's *Concept Plan*, and the conceptual building elevations, the request does NOT appear to align with or meet the intent of the goals and policies established in the OURHometown Vision 2040 Comprehensive Plan. As outlined in this case memorandum, the proposal contains multiple elements that are inconsistent with the Comprehensive Plan, the Unified Development Code (UDC), and the Municipal Code of Ordinances. These inconsistencies render the request a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. In evaluating the request, the Planning and Zoning Commission and City Council should consider whether the proposed Planned Development is compatible with the planned vision for the IH-30 Corridor and whether they advance the long-term economic, physical, and policy objectives adopted by the City.

## **NOTIFICATIONS**

On December 17, 2025, staff mailed 20 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has not received any notices in favor or in opposition of the request.

## **CONDITIONS OF APPROVAL**

If the City Council chooses to approve the applicant's request to rezone the subject property from a Commercial (C) District and Light Industrial (LI) District to a Planned Development District for limited Commercial (C) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**PLANNING AND ZONING COMMISSION**

On January 13, 2026, the Planning and Zoning Commission approved a motion to recommend denial of the Zoning Change by a vote of 5-0, with Commissioner Roth absent and one (1) vacant seat. According to Subsection 02.03(G), *Protest of a Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), if a zoning change "...is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval."



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:  
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	N/A				
SUBDIVISION	N/A	LOT	N/A	BLOCK	N/A
GENERAL LOCATION	NORTHWEST CORNER OF S JOHN KING BLVD AND I-30 FRONTAGE ROAD				

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	LI AND C	CURRENT USE	UNDEVELOPED		
PROPOSED ZONING	PD	PROPOSED USE	COMMERCIAL		
ACREAGE	32.79	LOTS [CURRENT]	6	LOTS [PROPOSED]	TBD

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

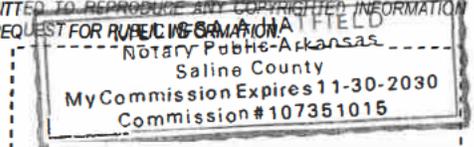
<input type="checkbox"/> OWNER	Temunovic Partnership Ltd	<input type="checkbox"/> APPLICANT	HUNINGTON PROPERTIES
CONTACT PERSON	Tina Co	CONTACT PERSON	GAGE RABA
ADDRESS	[REDACTED]	ADDRESS	[REDACTED]
CITY, STATE & ZIP	[REDACTED]	[REDACTED]	[REDACTED]
PHONE	[REDACTED]	PHONE	[REDACTED]
	[REDACTED]	E-MAIL	[REDACTED]

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Tina Cox [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

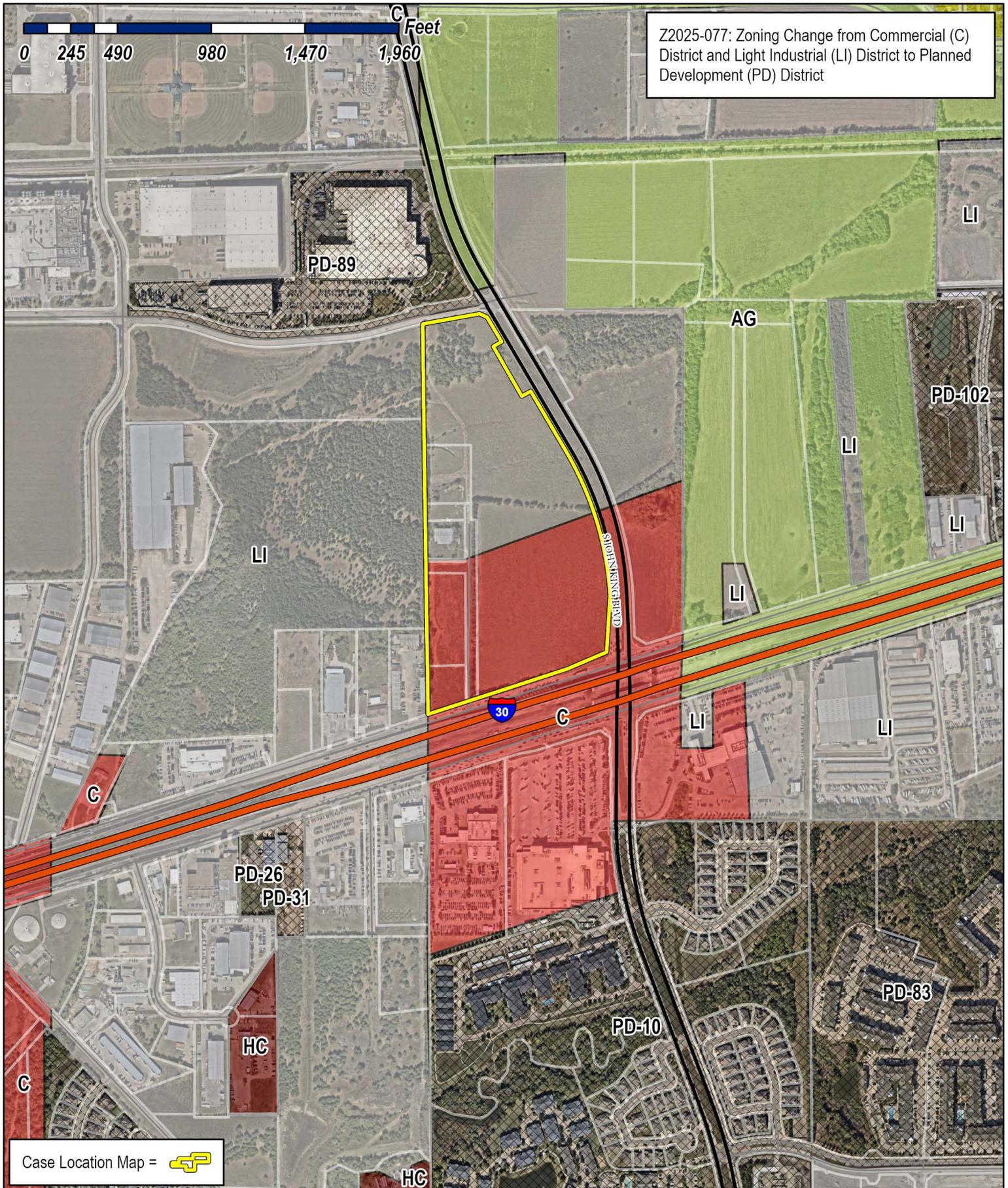
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF September, 2025  
OWNER'S SIGNATURE [Signature]



NOTARY PUBLIC IN AND FOR THE STATE OF ARKANSAS  
Arkansas

MY COMMISSION EXPIRES 11-30-2030



Z2025-077: Zoning Change from Commercial (C) District and Light Industrial (LI) District to Planned Development (PD) District

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

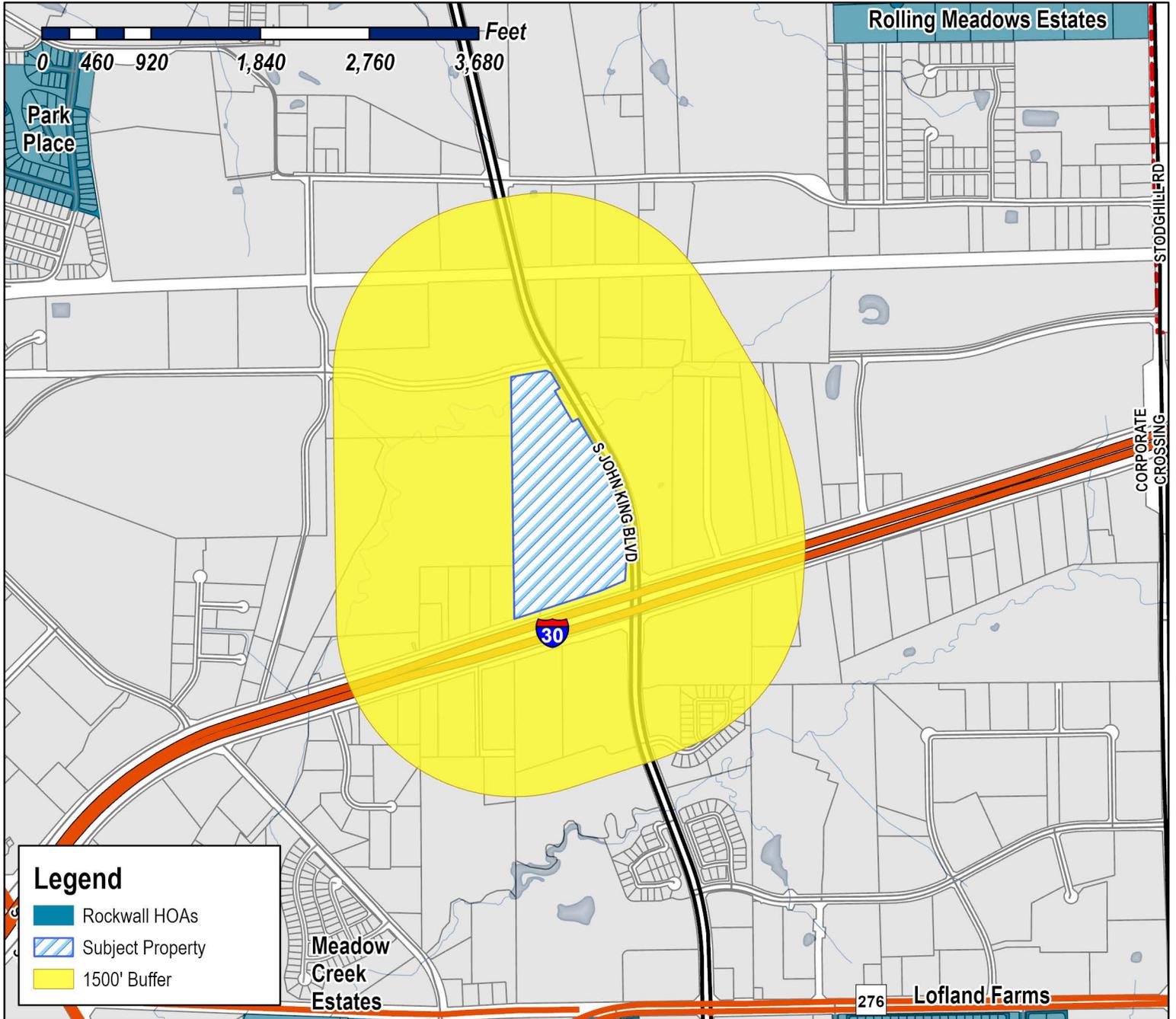




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**Case Number:** Z2025-077  
**Case Name:** Zoning Change from C and LI to PD  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District and Light Industrial (LI) District  
**Case Address:** NWC of S. John King and I-30 Frontage

**Date Saved:** 12/12/2025

For Questions on this Case Call (972) 771-7745

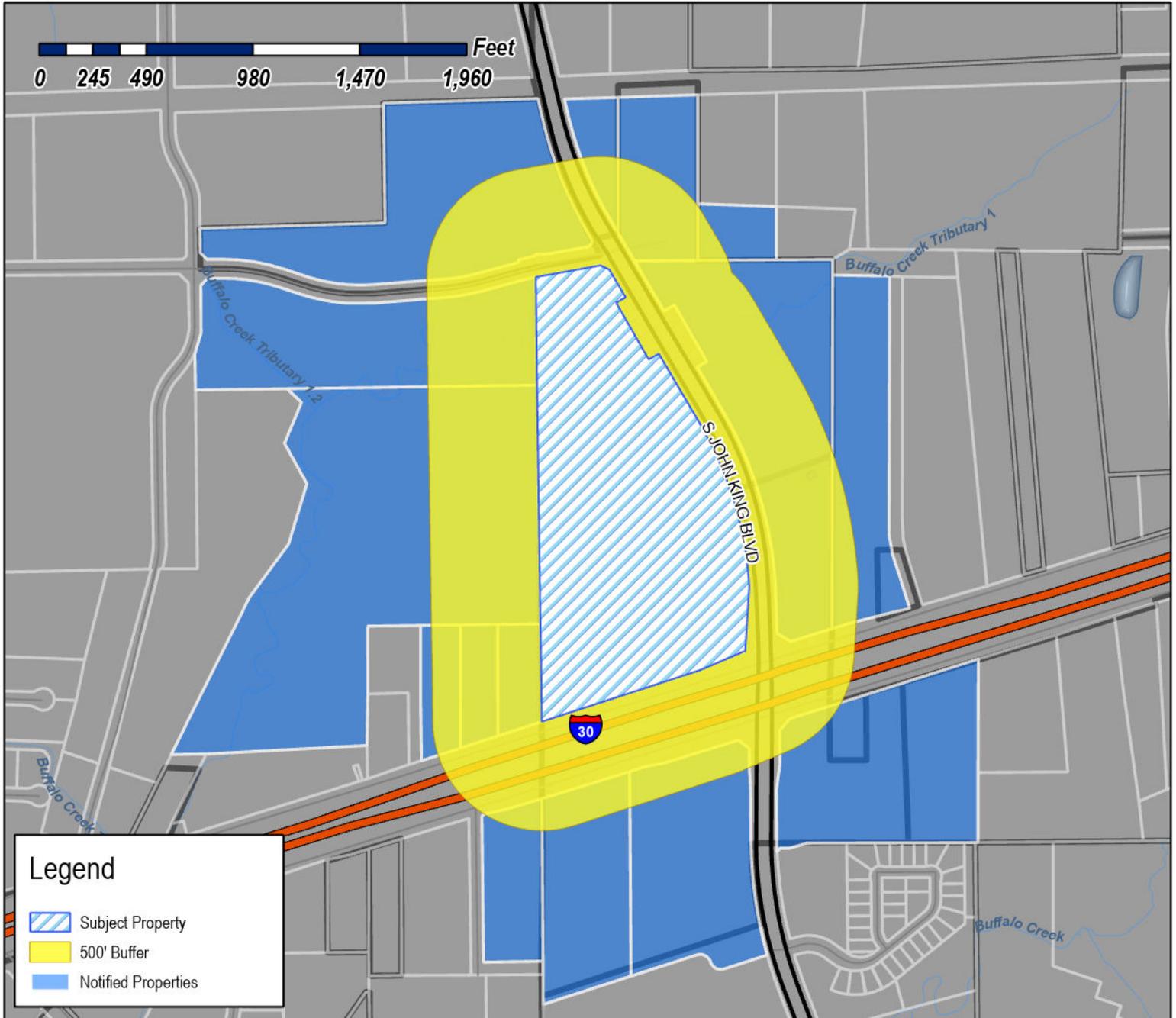




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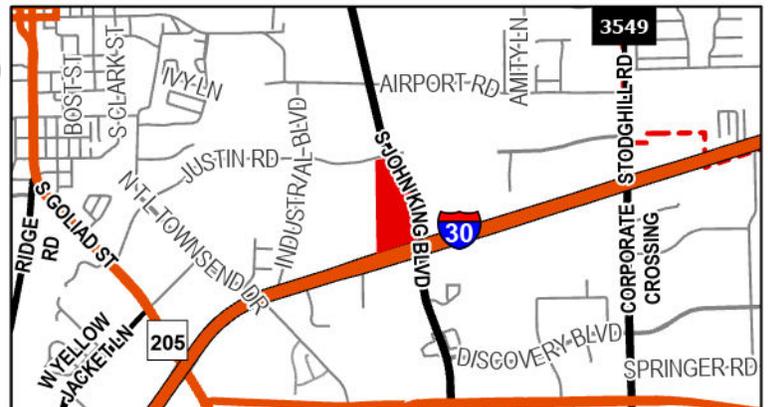
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COLUMBIA NORTH TEXAS HEALTHCARE SYSTEM  
LP  
1100 DR MARTIN L KING JR BLVD STE 500  
NASHVILLE, TN 37203

LITHIA REAL ESTATE INC  
150 N BARTLETT STREET  
MEDFORD, OR 97501

RESIDENT  
1535 I30  
ROCKWALL, TX 75087

RESIDENT  
1540 I30  
ROCKWALL, TX 75087

RESIDENT  
1545 E INTERSTATE 30  
ROCKWALL, TX 75087

RESIDENT  
1550 E I30  
ROCKWALL, TX 75087

AM ROCKWALL INVESTMENTS LP  
A TEXAS LTD PARTNERSHIP  
1551 E Interstate 30 Ste A  
Rockwall, TX 75087

RESIDENT  
1600 E INTERSTATE 30  
ROCKWALL, TX 75087

RESIDENT  
1700 JUSTIN RD  
ROCKWALL, TX 75087

NMAC REAL ESTATE MANAGEMENT COMPANY  
LLC  
1700 E I30  
ROCKWALL, TX 75087

RESIDENT  
1820 JUSTIN RD  
ROCKWALL, TX 75087

TEMUNOVIC PARTNERSHIP LTD  
3021 Ridge Rd Ste A57  
Rockwall, TX 75032

JAMES COLLIER PROPERTIES INC  
3333 MILLER PARK SOUTH  
GARLAND, TX 75042

C2LA, LLC  
382 Ranch Trl  
Rockwall, TX 75032

H E B LP  
646 SOUTH FLORES STREET  
SAN ANTONIO, TX 78204

DYNACAP HOLDINGS LTD &  
CHARLES SMITH  
709 W Rusk St Ste B  
Rockwall, TX 75087

ZBH/1535 E INTERSTATE 30 LTD  
9669 JOURDAN WAY  
DALLAS, TX 75230

WILLCAR HOLDINGS LLC  
ATTN: WILLIAM H CHANNELL JR  
P O BOX 9022  
TEMECULA, CA 92589

ROCKWALL STEEL CO INC  
PO BOX 729  
TERRELL, TX 75160

ROCKWALL ECONOMIC DEVELOPMENT  
PO BOX 968  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2025-077: Zoning Change from LI and C to PD

Hold a public hearing to discuss and consider a request by Gage Raba of Hunington Properties, LTD on behalf of Tina Cox of Temunovic Partnership LTD for the approval of a Zoning Change from a Light Industrial (LI) and a Commercial (C) District to a Planned Development District for Commercial (C) District land uses for a 32.79-acre tract of land identified as Tracts 3, 3-01, 3-2, 3-3, and 3-4 of the J. Lockhart Survey, Abstract No. 134; Lot 1 of the Eastplex Industrial Park Addition; and, Lot 2, Block A, Eastplex Industrial Park No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District and Light Industrial (LI) District, situated within the SH-205 Bypass Overlay (SH-205 BY OV) District and the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of the intersection of the IH-30 Frontage Road and S. John King Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 13, 2026 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 20, 2026 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Bethany Ross**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 20, 2026 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## Case No. Z2025-077: Zoning Change from LI and C to PD

Please place a check mark on the appropriate line below:

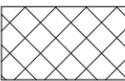
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

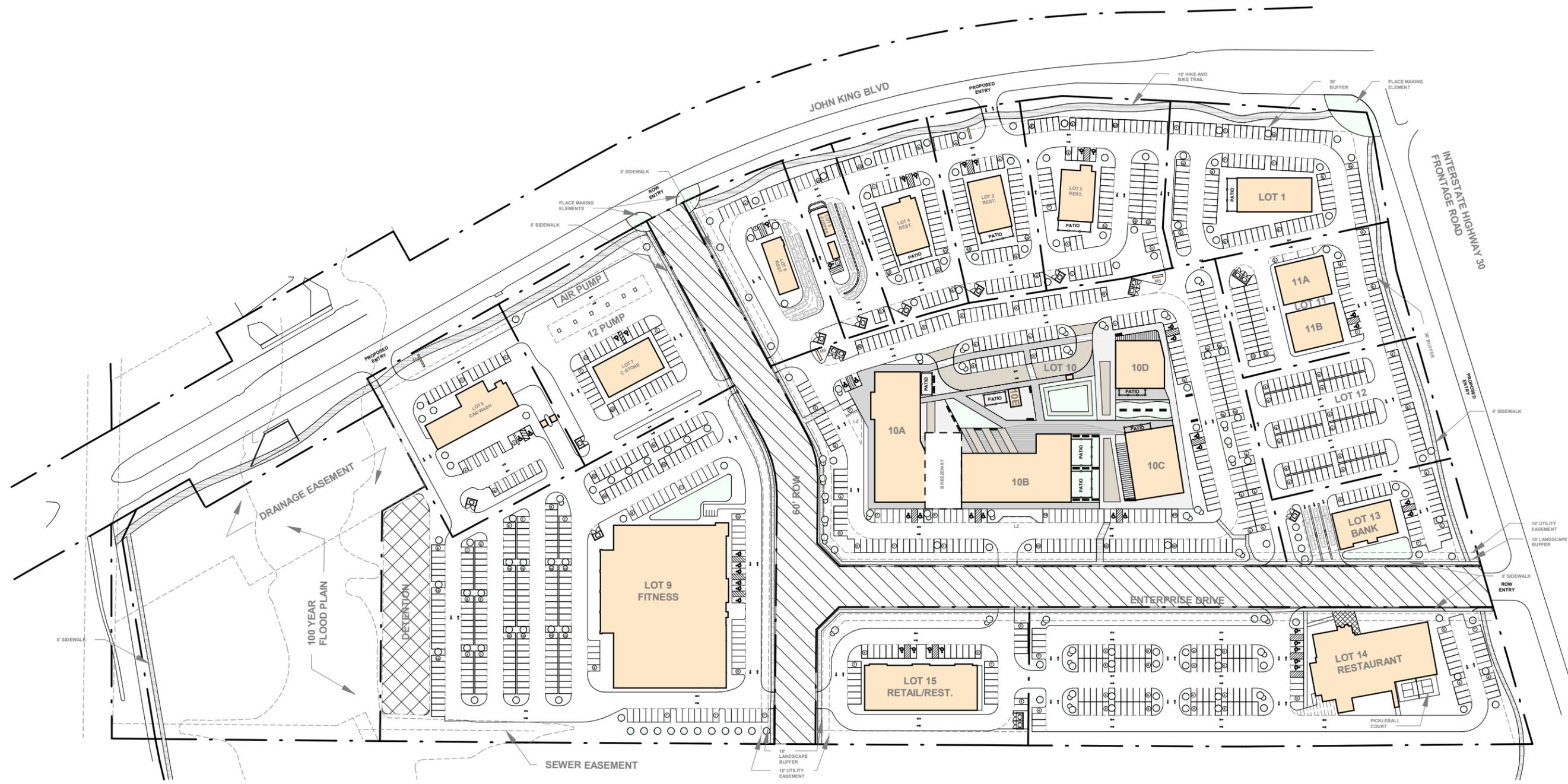
Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

LINE AND SYMBOL LEGEND			
	EASEMENT		ROW
	PROPERTY LINE		DETENTION
	BUILDING		
	GREEN SPACE		



**ROCKWALL, TX**

**COMMONS AT ROCKWALL - STUDY 31**



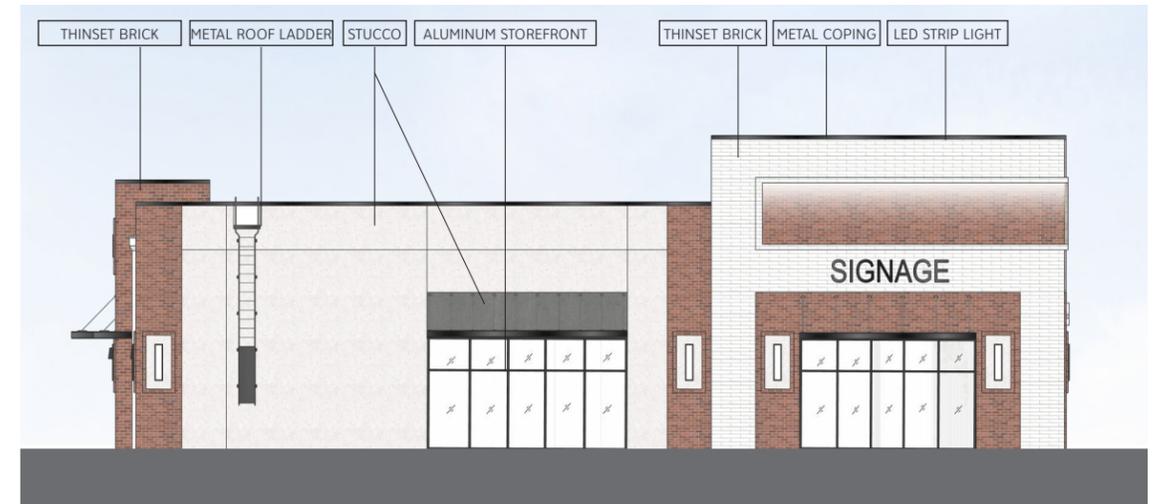
THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITY EASEMENTS, SETBACKS, LOT PROPERTY LINES, GRADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNER'S SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRIES, ETC.

DATE: 01/08/2026 CASE #: Z2025-077  
Page 175 of 314

# EXTERIOR ELEVATIONS - BUILDING 10A



EAST ELEVATION



WEST ELEVATION

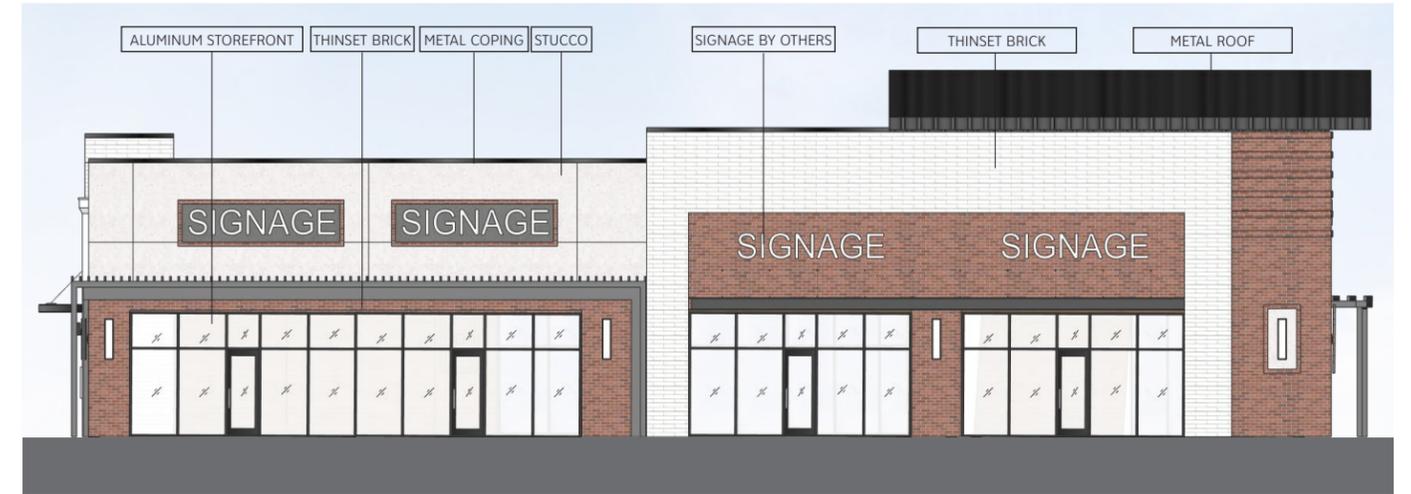
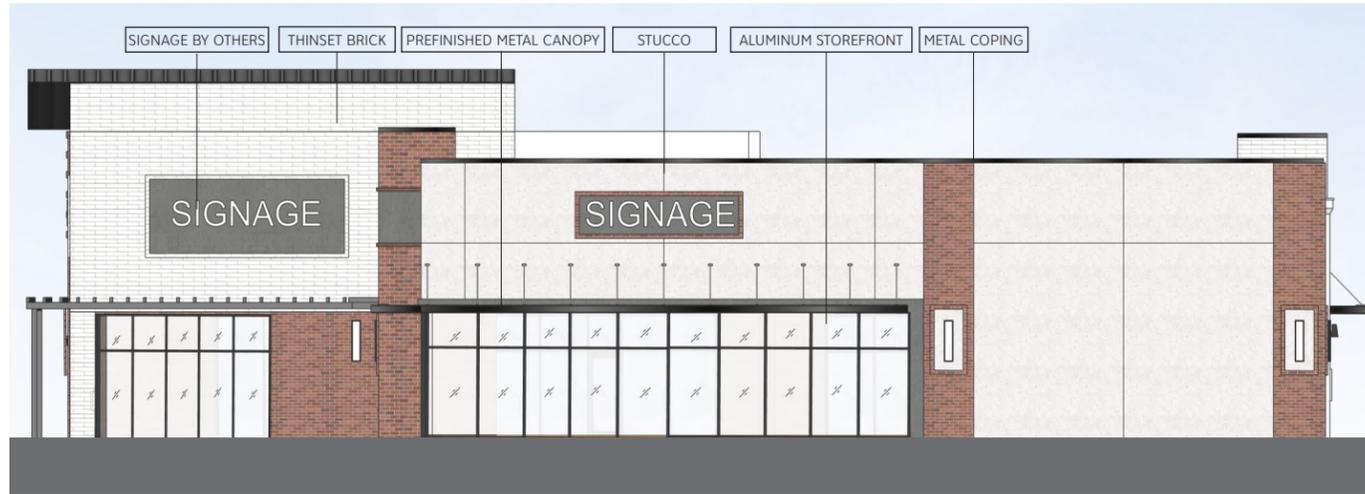


NORTH ELEVATION



SOUTH ELEVATION

# EXTERIOR ELEVATIONS - BUILDING 10B



EAST ELEVATION



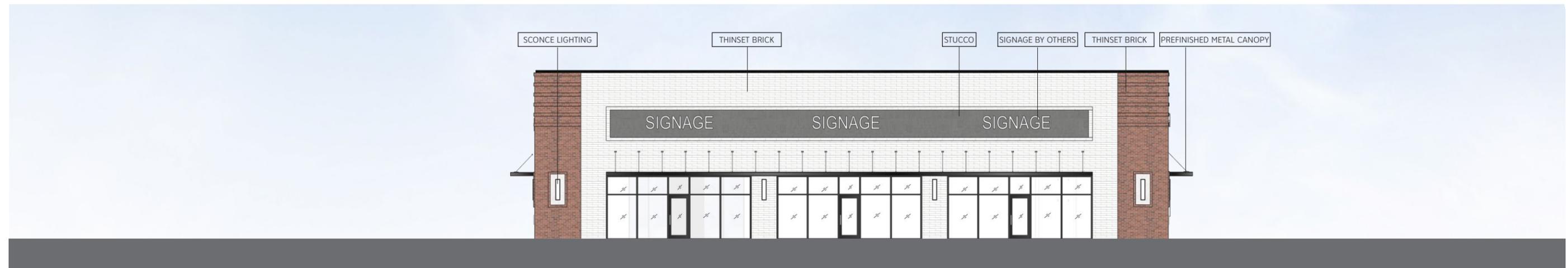
EAST ELEVATION

HUNINGTON - SHOPS AT ROCKWALL

CONCEPTUAL IMAGES

**modus** architecture

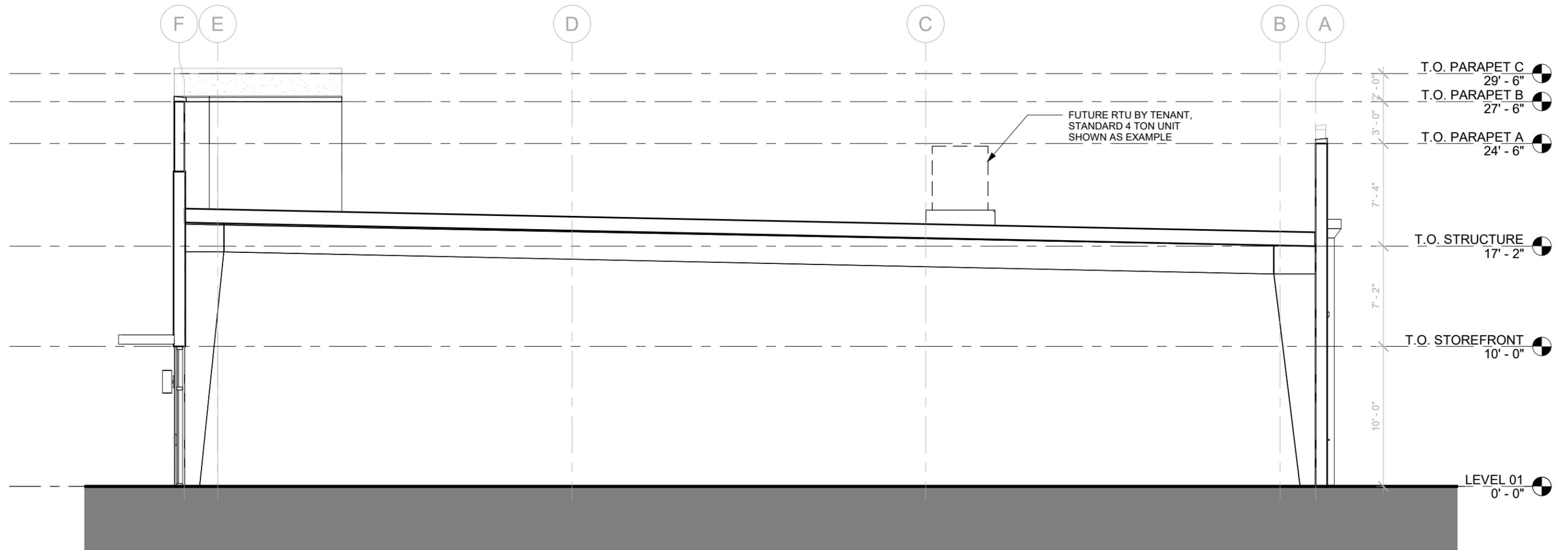
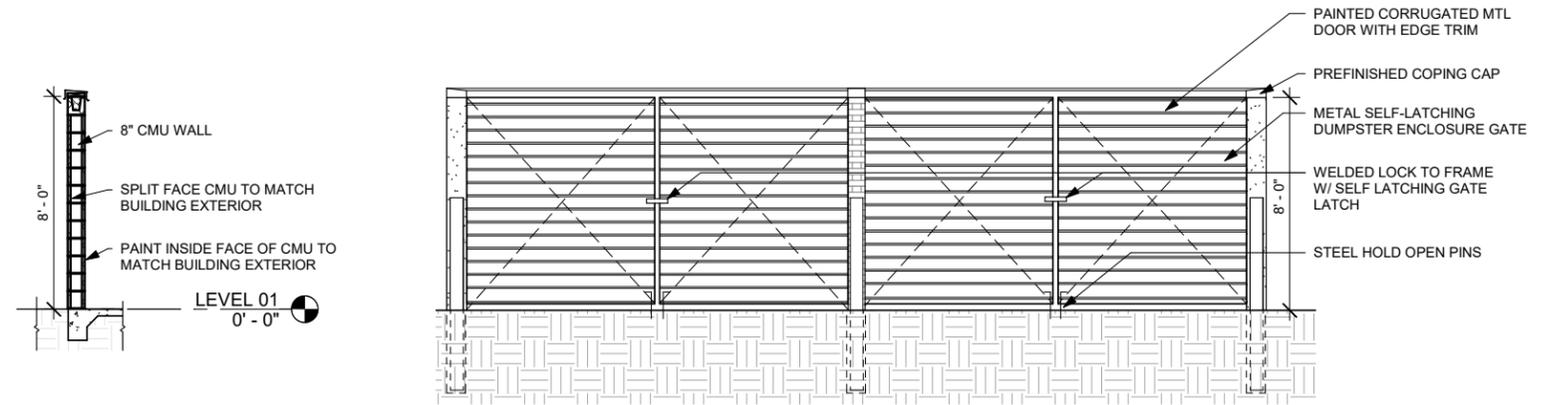
# EXTERIOR ELEVATIONS - BUILDING 10C



# EXTERIOR ELEVATIONS - BUILDING 10D



# TYPICAL BUILDING SECTION / DUMPSTER ENCLOSURE DETAILS



# VIEW A



# VIEW B



# VIEW C



# VIEW D



**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
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# PERMITTED LAND USES IN A COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a>	COMMERCIAL (C) DISTRICT
<b>AGRICULTURAL AND ANIMAL RELATED LAND USES</b>	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	<a href="#">(1)</a>		P
Animal Boarding/Kennel without Outside Pens	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Animal Clinic for Small Animals without Outdoor Pens	<a href="#">(3)</a>	<a href="#">(3)</a>	P
Animal Hospital or Clinic	<a href="#">(4)</a>		S
Community Garden	<a href="#">(11)</a>	<a href="#">(7)</a>	S
Urban Farm	<a href="#">(12)</a>	<a href="#">(8)</a>	S
<b>RESIDENTIAL AND LODGING LAND USES</b>	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	<a href="#">(3)</a>		P
Convent, Monastery, or Temple	<a href="#">(4)</a>		P
Commercial Parking Garage	<a href="#">(6)</a>		A
Limited-Service Hotel	<a href="#">(10)</a>		S
Full-Service Hotel	<a href="#">(11)</a>	<a href="#">(8)</a>	S
Residence Hotel	<a href="#">(12)</a>		S
Motel	<a href="#">(13)</a>		S
Private Sports Court with Standalone or Dedicated Lighting	<a href="#">(22)</a>	<a href="#">(18)</a>	P
<b>INSTITUTIONAL AND COMMUNITY SERVICE LAND USES</b>	2.02(C)	2.03(C)	
Assisted Living Facility	<a href="#">(1)</a>	<a href="#">(1)</a>	S
Blood Plasma Donor Center	<a href="#">(2)</a>		P
Cemetery/Mausoleum	<a href="#">(3)</a>		P
Church/House of Worship	<a href="#">(4)</a>	<a href="#">(2)</a>	S
College, University, or Seminary	<a href="#">(5)</a>		S
Convalescent Care Facility/Nursing Home	<a href="#">(6)</a>		P
Congregate Care Facility/Elderly Housing	<a href="#">(7)</a>	<a href="#">(3)</a>	S
Daycare with Seven (7) or More Children	<a href="#">(9)</a>	<a href="#">(4)</a>	P
Emergency Ground Ambulance Services	<a href="#">(10)</a>		P
Government Facility	<a href="#">(12)</a>		P
Hospice	<a href="#">(14)</a>		P
Hospital	<a href="#">(15)</a>		P
Public Library, Art Gallery or Museum	<a href="#">(16)</a>		P
Mortuary or Funeral Chapel	<a href="#">(17)</a>		P
Local Post Office	<a href="#">(18)</a>		P
Public or Private Primary School	<a href="#">(21)</a>	<a href="#">(7)</a>	P
Public or Private Secondary School	<a href="#">(22)</a>	<a href="#">(8)</a>	P
Temporary Education Building for a Public or Private School	<a href="#">(23)</a>	<a href="#">(9)</a>	S
Trade School	<a href="#">(24)</a>		P
<b>OFFICE AND PROFESSIONAL LAND USES</b>	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Financial Institution without Drive-Through	<a href="#">(1)</a>		P
Office or Medical Office Building less than 5,000 SF	<a href="#">(2)</a> & <a href="#">(3)</a>		P

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Office or Medical Office Building 5,000 SF or Greater	<a href="#">(2) &amp; (3)</a>		P
<b>RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES</b>	<b>2.02(E)</b>	<b>2.03(E)</b>	
Temporary Carnival, Circus, or Amusement Ride	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Indoor Commercial Amusement/Recreation	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Outdoor Commercial Amusement/Recreation	<a href="#">(3)</a>	<a href="#">(3)</a>	S
Public or Private Community or Recreation Club as an Accessory Use	<a href="#">(4)</a>		P
Private Country Club	<a href="#">(5)</a>		S
Golf Driving Range	<a href="#">(6)</a>		S
Temporary Fundraising Events by Non-Profit	<a href="#">(7)</a>	<a href="#">(4)</a>	P
Indoor Gun Club with Skeet or Target Range	<a href="#">(8)</a>	<a href="#">(5)</a>	P
Health Club or Gym	<a href="#">(9)</a>		P
Private Club, Lodge or Fraternal Organization	<a href="#">(10)</a>	<a href="#">(6)</a>	P
Private Sports Arena, Stadium, and/or Track	<a href="#">(11)</a>		S
Public Park or Playground	<a href="#">(12)</a>		P
Tennis Courts ( <i>i.e. Not Accessory to a Public or Private Country Club</i> )	<a href="#">(14)</a>		S
Theater	<a href="#">(15)</a>		P
<b>RETAIL AND PERSONAL SERVICES LAND USES</b>	<b>2.02(F)</b>	<b>2.03(F)</b>	
Alcoholic Beverage Package Sales	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Alcoholic Beverage Store	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Antique/Collectible Store	<a href="#">(3)</a>		P
Astrologer, Hypnotist, or Psychic	<a href="#">(4)</a>		P
Banquet Facility/Event Hall	<a href="#">(5)</a>		P
Portable Beverage Service Facility	<a href="#">(6)</a>	<a href="#">(3)</a>	S
Brew Pub	<a href="#">(7)</a>		P
Business School	<a href="#">(8)</a>		P
Catering Service	<a href="#">(9)</a>		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	<a href="#">(10)</a>	<a href="#">(4)</a>	P
Copy Center	<a href="#">(11)</a>		P
Craft/Micro Brewery, Distillery and/or Winery	<a href="#">(12)</a>	<a href="#">(5)</a>	S
Incidental Display	<a href="#">(13)</a>	<a href="#">(6)</a>	P
Food Trucks/Trailers	<a href="#">(14)</a>	<a href="#">(7)</a>	P
Garden Supply/Plant Nursery	<a href="#">(15)</a>		P
General Personal Service	<a href="#">(16)</a>	<a href="#">(8)</a>	P
General Retail Store	<a href="#">(17)</a>		P
Hair Salon and/or Manicurist	<a href="#">(18)</a>		P
Laundromat with Dropoff/Pickup Services	<a href="#">(19)</a>		P
Self Service Laundromat	<a href="#">(20)</a>		P
Massage Therapist	<a href="#">(21)</a>		P
Private Museum or Art Gallery	<a href="#">(22)</a>		P
Night Club, Discotheque, or Dance Hall	<a href="#">(23)</a>		P

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Pawn Shop	<a href="#">(24)</a>		S
Permanent Cosmetics	<a href="#">(25)</a>	<a href="#">(9)</a>	A
Pet Shop	<a href="#">(26)</a>		P
Temporary Real Estate Sales Office	<a href="#">(27)</a>		P
Rental Store without Outside Storage and/or Display	<a href="#">(28)</a>	<a href="#">(10)</a>	P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	<a href="#">(29)</a>	<a href="#">(11)</a>	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	<a href="#">(30)</a>		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	<a href="#">(29)</a>	<a href="#">(12)</a>	P
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	<a href="#">(30)</a>		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers ( <i>i.e. a Maximum of Four [4] Vehicles</i> )	<a href="#">(31)</a>	<a href="#">(13)</a>	P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	<a href="#">(32)</a>	<a href="#">(13)</a>	P
Secondhand Dealer	<a href="#">(33)</a>		P
Art, Photography, or Music Studio	<a href="#">(33)</a>		P
Tailor, Clothing, and/or Apparel Shop	<a href="#">(34)</a>		P
<b>COMMERCIAL AND BUSINESS SERVICES LAND USES</b>	<b>2.02(G)</b>	<b>2.03(G)</b>	
Bail Bond Service	<a href="#">(1)</a>		S
Building and Landscape Material with Limited Outside Storage	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Building Maintenance, Service, and Sales without Outside Storage	<a href="#">(3)</a>		P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	<a href="#">(6)</a>		P
Furniture Upholstery/Refinishing and Resale	<a href="#">(8)</a>	<a href="#">(4)</a>	S
Heavy Machinery and Equipment Rental, Sales, and Service	<a href="#">(10)</a>	<a href="#">(5)</a>	S
Locksmith	<a href="#">(11)</a>		P
Research and Technology or Light Assembly	<a href="#">(15)</a>		S
Shoe and Boot Repair and Sales	<a href="#">(16)</a>		P
Temporary On-Site Construction Office	<a href="#">(18)</a>	<a href="#">(6)</a>	P
<b>AUTO AND MARINE RELATED LAND USES</b>	<b>2.02(H)</b>	<b>2.03(H)</b>	
Minor Auto Repair Garage	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Automobile Rental	<a href="#">(3)</a>		S
New or Used Boat and Trailer Dealership	<a href="#">(4)</a>	<a href="#">(3)</a>	S
Full Service Car Wash and Auto Detail	<a href="#">(5)</a>	<a href="#">(4)</a>	P
Self Service Car Wash	<a href="#">(5)</a>	<a href="#">(4)</a>	P
New and/or Used Indoor Motor Vehicle Dealership/Showroom	<a href="#">(6)</a>	<a href="#">(5)</a>	S
New Motor Vehicle Dealership-for Cars and Light Trucks	<a href="#">(7)</a>	<a href="#">(6)</a>	S
Used Motor Vehicle Dealership for Cars and Light Trucks)	<a href="#">(7)</a>	<a href="#">(7)</a>	A
Commercial Parking	<a href="#">(8)</a>		P
Non-Commercial Parking Lot	<a href="#">(9)</a>		P
Recreational Vehicle (RV) Sales and Service	<a href="#">(10)</a>		S
Service Station	<a href="#">(11)</a>	<a href="#">(8)</a>	P
<b>INDUSTRIAL AND MANUFACTURING LAND USES</b>	<b>2.02(I)</b>	<b>2.03(I)</b>	

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Temporary Asphalt or Concrete Batch Plant	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Mining and Extraction of Sand, Gravel, Oil and/or Other Materials	<a href="#">(12)</a>	<a href="#">(5)</a>	S
<b>WHOLESALE, DISTRIBUTION AND STORAGE LAND USES</b>	<b>2.02(J)</b>	<b>2.03(J)</b>	
Mini-Warehouse	<a href="#">(4)</a>	<a href="#">(1)</a>	S
Wholesale Showroom Facility	<a href="#">(8)</a>		S
<b>UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES</b>	<b>2.02(K)</b>	<b>2.03(K)</b>	
Antenna for an Amateur Radio	<a href="#">(3)</a>	<a href="#">(2)</a>	A
Antenna Dish	<a href="#">(4)</a>	<a href="#">(3)</a>	A
Freestanding Commercial Antenna ( <i>i.e. Monopole or a Similar Structure</i> )	<a href="#">(5)</a>	<a href="#">(4)</a>	P
Mounted or Attached Commercial Antenna	<a href="#">(6)</a>	<a href="#">(5)</a>	P
Commercial Drone Delivery Hub	<a href="#">(8)</a>	<a href="#">(6)</a>	S
Helipad	<a href="#">(9)</a>		S
Utilities ( <i>Non-Municipally Owned or Controlled</i> ), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	<a href="#">(10)</a>		S
Municipally Owned or Controlled Facilities, Utilities and Uses ( <i>Includes Utilities with a Franchise Utility Agreement with the City of Rockwall</i> )	<a href="#">(11)</a>		P
Private Streets	<a href="#">(12)</a>		S
Radio Broadcasting	<a href="#">(13)</a>		P
Railroad Yard or Shop	<a href="#">(14)</a>		S
Recording Studio	<a href="#">(15)</a>		P
Satellite Dish	<a href="#">(16)</a>		A
Solar Energy Collector Panels and Systems	<a href="#">(17)</a>	<a href="#">(7)</a>	A
Transit Passenger Facility	<a href="#">(18)</a>		S
TV Broadcasting and Other Communication Service	<a href="#">(20)</a>		S
Utilities Holding a Franchise from the City of Rockwall	<a href="#">(21)</a>		S
Utility Installation Other than Listed	<a href="#">(22)</a>		S
Utility/Transmission Lines	<a href="#">(23)</a>		S

The *Downtown* land use designation should include a mixture of land uses that are complementary to the existing development pattern and are intended to add to the attractive, pedestrian-oriented environment of Rockwall's historic downtown. In addition, this area is the historic core of the City and should continue to be a symbol of community life in Rockwall. The policies adopted in Appendix 'C', *Small Area Plans*, of this Comprehensive Plan should generally regulate this land use designation.

**DESIGNATION CHARACTERISTICS**

- 1 Primary Land Uses: Retail, Office, Restaurant and Residential Land Uses
- 2 Secondary Land Uses: Institutional/Civic Land Uses
- 3 Zoning Districts: Downtown (DT) District

**EXISTING LAND USE EXAMPLES**

- 1 Downtown Square and Surrounding Areas



**SPECIAL COMMERCIAL CORRIDOR (SC)**

The *Special Commercial Corridor* land use designation is intended to provide an area for commercial/retail and regional commercial/retail activity centers that are intended to support and serve the entire region. This area should include the recommendations contained in Appendix 'B', *Corridor Plans*, of this Comprehensive Plan.

**DESIGNATION CHARACTERISTICS**

- 1 Primary Land Uses: Regional Shopping Centers, Entertainment, Retail, Personal Services, Restaurant, Corporate Offices, Employment and Recreation Land Uses
- 2 Secondary Land Uses: Residential, Open Space, Parks, Trails, Banks, Service Stations and Institutional/Civic Land Uses (Secondary Land Uses should be integrated into a Larger Development)
- 3 Zoning Districts: Commercial (C) District and Planned Development (PD) District

**EXISTING LAND USE EXAMPLES**

- 1 IH-30 Corridor

**PUBLIC LAND AND OPEN SPACE**

**PARKS AND OPEN SPACE (OS)**

The *Parks and Open Space* land use designation includes all floodplains and major public open spaces (e.g. neighborhood parks, community parks, greenbelts, trail systems, etc.). These areas should be preserved and are intended to provide citywide recreation/trail opportunities and natural drainage areas that help define the character of Rockwall.

**DESIGNATION CHARACTERISTICS**

- 1 Primary Land Uses: Floodplain, Open Space, Parks, and Trails Land Uses
- 2 Secondary Land Uses: N/A
- 3 Zoning Districts: N/A

**EXISTING LAND USE EXAMPLES**

- 1 Harry Myers Park



**PUBLIC (P)**

The *Public* land use designation includes uses that are operated exclusively by a public body that serve the public's health, safety or general welfare. This land use designation includes land uses such as public schools, libraries, the airport, the City's administrative and service facilities, and any other state or federal facilities.

**DESIGNATION CHARACTERISTICS**

- 1 Primary Land Uses: Schools, Libraries, Fire Stations, Pump Stations, Water Towers, Police Stations, City Administrative Offices, and County, State or Federal Facilities
- 2 Secondary Land Uses: Open Space, Parks, and Trails Land Uses
- 3 Zoning Districts: N/A

**EXISTING LAND USE EXAMPLES**

- 1 City Place
- 2 County Courthouse
- 3 Municipal Courts Building

**QUASI-PUBLIC (QP)**



# 06 IH-30 CORRIDOR DISTRICT

## DISTRICT DESCRIPTION

The IH-30 Corridor is the primary retail corridor for the City of Rockwall. Currently the corridor is approximately 55% developed, with the remaining 45% being vacant or raw land. The Corridor acts as the western gateway for both the City and County of Rockwall, and has land uses that include retail, personal services, medical, and industrial. In the future the health of the IH-30 corridor is vital to maintaining a high per capita sales tax for the City of Rockwall.

## POINTS OF REFERENCE

- A. Lake Point Church
- B. Rochell Elementary School
- C. Walmart
- D. Costco

## LAND USE PALETTES

- Current Land Use
- Future Land Use

- John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon
- IH-30 Corridor Plan Eastern Entry Portals



2/3 Future Regional Center



2 Future Regional Center

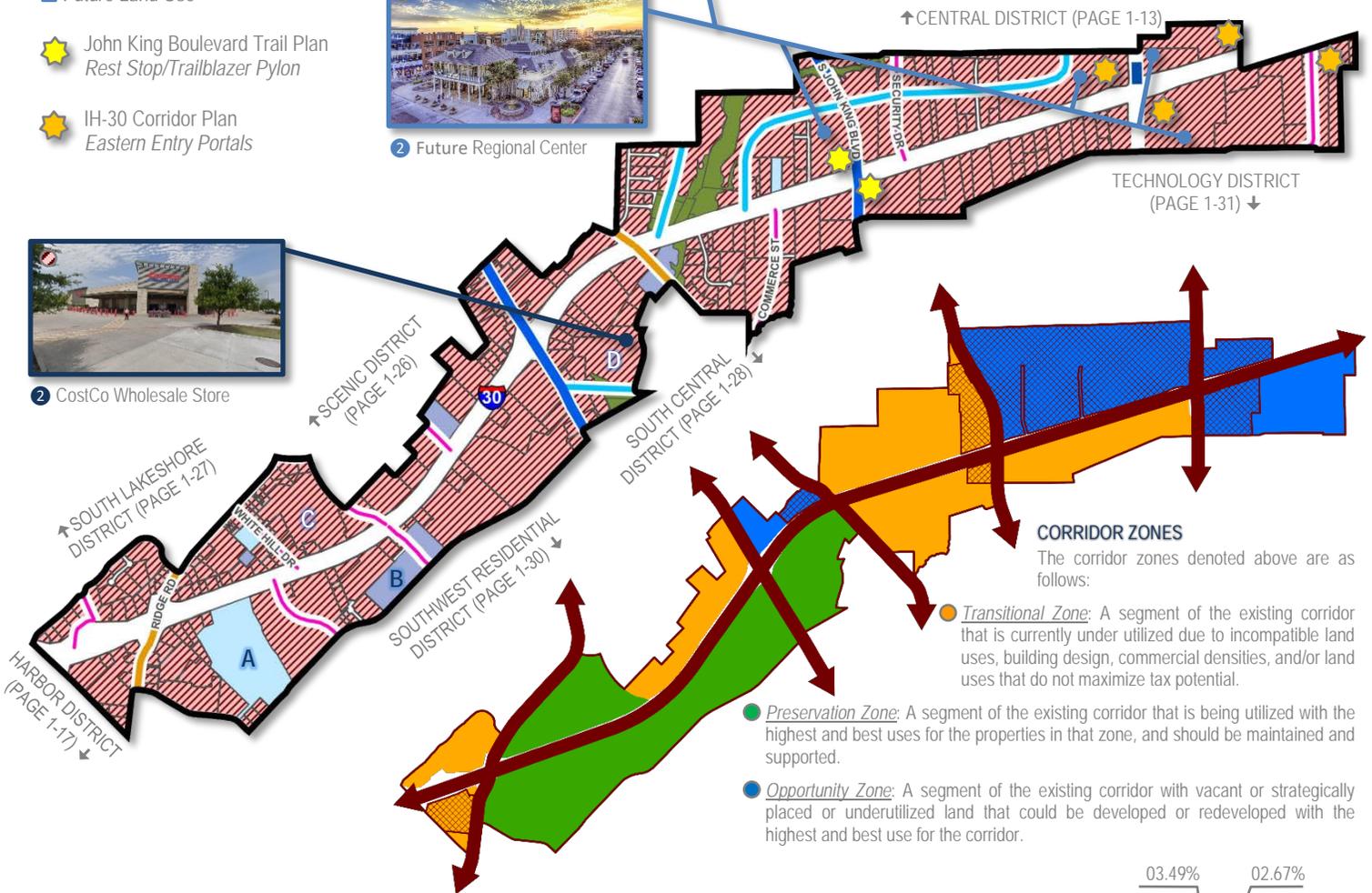


2 Costco Wholesale Store

## DISTRICT STRATEGIES

The IH-30 Corridor District will continue to be the City's primary retail corridor in the future. Based on this the following strategies should be employed:

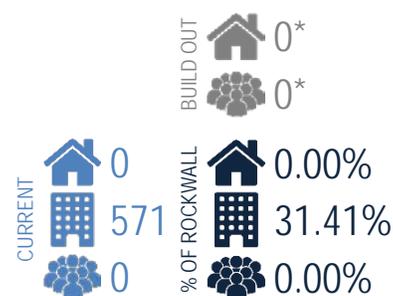
- 1 **Corridor Strategies.** The specific goals and policies contained in Section 02.01, *IH-30 Corridor Plan*, of Appendix 'B', *Corridor Plans*, of this Comprehensive Plan should be considered when reviewing new development within the IH-30 Corridor.
- 2 **Regional Center.** In accordance with the *IH-30 Corridor Plan*, a regional center should be located on each of the properties denoted in the red cross hatch (⊠) in the Corridor Zones map below. These regional centers should generally follow one (1) of the four (4) models identified in the *IH-30 Corridor Plan* (i.e. *Strip Retail Center, Mixed-Use Center, Town Center, or Regional Designation Center* models).
- 3 **Open Space.** Large commercial centers should incorporate green space or open space at the center of the development that can be used to provide amenity or break up large parking fields.
- 4 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in Appendix 'B' of this Comprehensive Plan.



## CORRIDOR ZONES

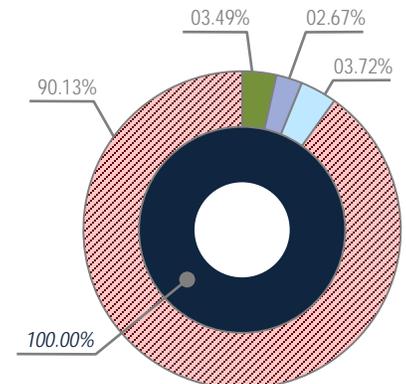
The corridor zones denoted above are as follows:

- Transitional Zone:** A segment of the existing corridor that is currently under utilized due to incompatible land uses, building design, commercial densities, and/or land uses that do not maximize tax potential.
- Preservation Zone:** A segment of the existing corridor that is being utilized with the highest and best uses for the properties in that zone, and should be maintained and supported.
- Opportunity Zone:** A segment of the existing corridor with vacant or strategically placed or underutilized land that could be developed or redeveloped with the highest and best use for the corridor.



	COMMERCIAL	100.00%
	RESIDENTIAL	0.00%
	MIXED USE	0.00%
	PARKS AND OPEN SPACE (OS)	37.03-ACRES
	PUBLIC (P)	28.31-ACRES
	QUASI-PUBLIC (QP)	39.49-ACRES
	SPECIAL COMMERCIAL CORRIDOR (SC)	957.15-ACRES

	MINOR COLLECTOR
	M4U
	M4D
	P6D
	TXDOT 4D



CITY OF ROCKWALL

ORDINANCE NO. 26-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A LIGHT INDUSTRIAL (LI) DISTRICT AND A COMMERCIAL (C) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XXX (PD-XXX) FOR COMMERCIAL (C) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 32.79-ACRE TRACT OF LAND IDENTIFIED AS TRACTS 3, 3-01, 3-2, 3-3 & 3-4 OF THE J. LOCKHART SURVEY, ABSTRACT NO. 134; LOT 1 OF THE EASTPLEX INDUSTRIAL PARK ADDITION; AND, LOT 2, BLOCK A, EASTPLEX INC PARK NO. 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Gage Raba of Hunington Properties on behalf of Tina Cox of Temunovic Partnership, LTD for the approval of a zoning change from a Light Industrial (LI) District and a Commercial (C) District to a Planned Development District for Commercial (C) District land uses, on a 32.79-acre tract of land identified as Tracts 3, 3-01, 3-2, 3-3 & 3-4 of the J. Lockhart Survey, Abstract No. 134; Lot 1 of the Eastplex Industrial Park Addition; and Lot 2, Block A, Eastplex Industrial Park No. 2, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District and Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District and the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of the intersection of the IH-30 Frontage Road and S. John King Boulevard, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Conceptual Zoning Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of any buildings on the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That development of *Buildings 10A, 10B, 10C, & 10D* as depicted in *Exhibit 'C'* of this ordinance shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 5.** That development of a *Shopping Center Sign* on the *Subject Property* shall generally be in accordance with the *Shopping Center Signage Plan* and *Shopping Center Signage Elevations*, depicted in *Exhibit 'E'* and *Exhibit 'F'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'E'* and *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 6.** That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'G'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'G'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 7.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 8.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 9.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 10.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 1<sup>ST</sup> DAY OF DECEMBER, 2025.**

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: January 20, 2026

2<sup>nd</sup> Reading: February 2, 2026

**Exhibit 'A':**  
*Legal Description*

TRACT 1

Being a 29.52 acre tract of land out of the J. Lockhart Survey, Abstract No. 134, situated in the City of Rockwall, Rockwall County, Texas, being a portion of a called 51.030 acre tract of land conveyed to Temunovic Partnership, LTD by deed of record in Volume 7038, Page 314 of the Official Public Records of Rockwall County, Texas, also being all of a called Tract 3 – 3.31 acre tract of land conveyed to C2LA, LLC by deed of record in Document Number 20220000011341 of said Official Public Records, also being all of Lot 1 of Eastplex Industrial Park , a subdivision of record in Cabinet A, Page 237 of the Plat Records of Rockwall County, Texas and Lot 2, Block A of Eastplex Industrial Park, a subdivision of record in Cabinet B, Page 50 of said Plat Records as conveyed to C2LA, LLC by deed of record in Document Number 20220000011341 of said Official Public Records and being more particularly described by metes and bounds as follows:

*BEGINNING* at a 1/2 inch iron rod with pink plastic cap stamped "TXDOT" found at the intersection of the West right-of-way line of John King Boulevard (a variable width right-of-way) and the North right-of-way line of Interstate Highway 30 (a variable width right-of-way), being the Northeast corner of a called Parcel 65 – 0.0065 acre tract of land conveyed to the State of Texas by deed of record in Document Number 20200000023370 of said Official Public Records, for the most Easterly Southeast corner hereof;

*THENCE*, S45°32'11"W, along the North right-of-way line of said Interstate Highway 30 and the common Northwest line of said Parcel 65, a distance of 41.38 feet to a 1/2 inch iron rod with pink plastic cap stamped "TXDOT" found in the North line of a called Parcel 18A – 0.0812 acre tract of land conveyed to the State of Texas by deed of record in Volume 6591, Page 246 of said Official Public Records, for the most Southerly Southeast corner hereof;

*THENCE*, S72°31'15"W, along the North right-of-way line of said Interstate Highway 30 and the common North line of said Parcel 18A, a distance of 216.84 feet to a 5/8 inch iron rod with illegible yellow plastic cap found in the South line of said 51.030 acre tract, being the West corner of said Parcel 18A;

*THENCE*, S72°55'29"W, continuing along the North right-of-way line of said Interstate Highway 30, being the common South line of said 51.030 acre tract, passing at a distance of 457.61 feet, a 5/8 inch iron rod found, a total distance of 488.79 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the intersection of the North right-of-way line of said Interstate Highway 30 and the East right-of-way line of Enterprise Drive as dedicated by Cabinet B, Page 50 of said Plat Records, being the most Southerly Southwest corner of said 51.030 acre tract and hereof;

*THENCE*, along the East right-of-way line of said Enterprise Drive, being the common irregular South line of said 51.030 acre tract, the following three (3) courses and distances:

- (1) N01°15'04"W, a distance of 353.14 feet to a 1/2 inch iron rod found;
- (2) N00°28'22"W, a distance of 588.70 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- (3) N00°26'50"W, a distance of 87.93 feet to a 1/2 inch iron rod found at the Northeast corner of said Enterprise Drive, being the most Easterly Southeast corner of said Tract 3;

*THENCE*, S89°33'43"W, leaving the irregular South line of said 51.030 acre tract, along the North line of said Enterprise Drive, being the common South line of said Tract 3, a distance of 30.06 feet to a 1/2 inch iron rod found at the Northwest corner of said Enterprise Drive, being the

**Exhibit 'A':**  
*Legal Description*

Northeast corner of said Lot 2;

*THENCE*, S00°26'17"E, along the West right-of-way line of said Enterprise Drive, being the common irregular South line of said Tract 3 and the common East lines of said Lot 2 and said Lot 1, a distance of 296.53 feet to a 1/2 inch iron rod with yellow plastic cap stamped "RPLS 5034" found at the Northeast corner of a called 0.2754 acre tract of land conveyed to the City of Rockwall by deed of record in Volume 1696, Page 251 of said Official Public Records, being the most Southerly Southeast corner of said Tract 3 and the Southeast corner of said Lot 1;

*THENCE*, S89°33'43"W, along the North line of said 0.2754 acre tract, being the common South line of said Tract 3 and said Lot 1, a distance of 200.00 feet to a 1/2 inch iron rod with yellow plastic cap stamped "RPLS 5034" found in the East line of a called 49.839 acre tract of land conveyed to Rockwall Steel Co., INC by deed of record in Volume 752, Page 28 of said Official Public Records, being the Northwest corner of said 0.2754 acre tract, also being the Southwest corner of said Tract 3 and said Lot 1;

*THENCE*, N00°26'17"W, along the East line of said 49.839 acre tract, being the common West line of said Tract 3 and the common West lines of in part, said Lot 1 and in part, said Lot 2, a distance of 665.85 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the Northwest corner of said Tract 3, being the most Westerly Southwest corner of said 51.030 acre tract;

*THENCE*, N00°35'23"W, along the West line of said 51.030 acre tract, being the common West lines of in part, said 49.839 acre tract and in part, Lot 1, Block B of Lot 1, Block A and Lot 1, Block B, Channell Subdivision, a subdivision of record in Document Number 2016000005517 of said Plat Records, a distance of 562.87 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the South right-of-way line of Justin Road (a variable width right-of-way), being the Northeast corner of said Lot 1, Block B, also being the Southwest corner of a called Parcel No. 1 – 0.281 acre tract of land conveyed to the City of Rockwall by deed of record in Document Number 20150000018248 of said Official Public Records, for the Northwest corner hereof;

*THENCE*, along the South right-of-way line of said Justin Road and the common South line of said Parcel No 1, the following two (2) courses and distances:

- (1) N79°47'13"E, a distance of 299.17 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set for the most Northerly Northeast corner hereof;
- (2) S65°19'58"E, a distance of 49.22 feet to a 1/2 inch iron rod with yellow plastic cap stamped "WIER AND ASSOC" found at the intersection of the South right-of-way line of said Justin Road and the West right-of-way line of said John King Boulevard, being the Southeast corner of said Parcel No. 1, for the most Easterly Southeast corner hereof;

*THENCE*, along the irregular West right-of-way line of said John King Boulevard, the following eight (8) courses and distances:

- (1) S30°26'47"E, a distance of 90.52 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set, from which a 1/2 inch iron rod found bears N19°00'00"W, a distance of 0.53 feet;
- (2) S59°33'13"W, a distance of 48.04 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set, from which a 1/2 inch iron rod found bears N47°22'43"W, a distance of 0.59 feet;

**Exhibit 'A':**  
*Legal Description*

- (3) S30°26'47"E, a distance of 300.59 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set, from which a 1/2 inch iron rod found bears N53°04'14"W, a distance of 0.79 feet;
- (4) N59°33'13"E, a distance of 48.04 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set, from which a 1/2 inch iron rod found bears N79°38'03"W, a distance of 0.87 feet;
- (5) S30°26'47"E, a distance of 416.98 feet to a 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the beginning of a tangent curve to the right, from which a 1/2 inch iron rod found bears N64°24'08"W, a distance of 0.87 feet;
- (6) Along said tangent curve to the right, having a radius of 1,690.00 feet, a chord bearing of S18°37'03"E, a chord length of 692.86 feet, a delta angle of 23°39'28", an arc length of 697.81 feet to 1/2 inch iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the point of tangency of said curve, from which a 1/2 inch iron rod found bears N87°55'20"W, a distance of 1.30 feet;
- (7) S01°43'57"W, a distance of 190.30 feet to a 1/2 inch iron rod found;
- (8) S02°19'04"W, a distance of 211.62 feet to the *POINT OF BEGINNING* and containing an area of 29.515 acres (1,285,677 square feet) of land, more or less.

**Exhibit 'A':**  
*Legal Description*

TRACT 2

*BEING* a 3.27 acre tract of land out of the J. Lockhart Survey, Abstract No. 134, situated in the City of Rockwall, Rockwall County, Texas, being all of a called Tract 1 – 1.10 acre tract of land conveyed to C2LA, LLC by deed of record in Document Number 20220000011341 of said Official Public Records, also being all of a called Tract 2 – 2.17 acre tract of land conveyed to C2LA, LLC by deed of record in Document Number 20220000011341 of said Official Public Records and being more particularly described by metes and bounds as follows:

*BEGINNING* at a 1/2 inch iron rod with yellow plastic cap stamped “RPLS 5034” found in the North right-of-way line of Interstate Highway 30 (a variable width right-of-way), being the Southeast corner of a called 2.00 acre tract of land conveyed to AM Rockwall Investments, L.P. by deed of record in Volume 2435, Page 28 of said Official Public Records, also being the Southwest corner of said Tract 1 and hereof;

*THENCE*, N01°17'47"W, leaving the North right-of-way line of Interstate Highway 30, along the East line of said 2.00 acre tract, being the West line of said Tract 1, a distance of 420.06 feet to a 1/2 inch iron rod with green plastic cap stamped “EAGLE SURVEYING” set at the Southeast corner of a called 49.839 acre tract of land conveyed to Rockwall Steel Co., INC by deed of record in Volume 752, Page 28 of said Official Public Records, being the Northeast corner of said 2.00 acre tract, also being the Southwest corner of said Tract 2, also being the Northwest corner of said Tract 1;

*THENCE*, N00°26'17"W, along the East line of said 49.839 acre tract, being the common West line of said Tract 2, a distance of 321.77 feet to a 1/2 inch iron rod with yellow plastic cap stamped “RPLS 5034” found at the Southwest corner of a called 0.2754 acre tract of land conveyed to the City of Rockwall by deed of record in Volume 1696, Page 251 of said Official Public Records, being the Northwest corner of said Tract 2 and hereof;

*THENCE*, N89°33'43"E, along the South line of said 0.2754 acre tract, being the common North line of said Tract 2, a distance of 200.00 feet to a 1/2 inch iron rod in the West right-of-way line of Enterprise Drive as dedicated by Cabinet B, Page 50 of said Plat Records, being the Southeast corner of said 0.2754 acre tract, also being the Northeast corner of said Tract 2 and hereof;

*THENCE*, along the West right-of-way line of said Enterprise Drive, being the common East lines of in part, said Tract 2 and in part, said Tract 1, the following two (2) courses and distances:

- (1) S00°26'17"E, a distance of 320.07 feet to a 1/2 inch iron rod found;
- (2) S01°17'47"E, a distance of 362.15 feet to a 1/2 inch iron rod with green plastic cap stamped “EAGLE SURVEYING” set at the intersection of the West right-of-way line of said Enterprise Drive and the North right-of-way line of said Interstate Highway 30, being the Southeast corner of said Tract 1 and hereof;

*THENCE*, S72°54'00"W, along the North right-of-way line of said Interstate Highway 30, being the common South line of said Tract 1, a distance of 207.86 feet to the *POINT OF BEGINNING* and containing an area of 3.27 acres (142,406 square feet) of land, more or less.

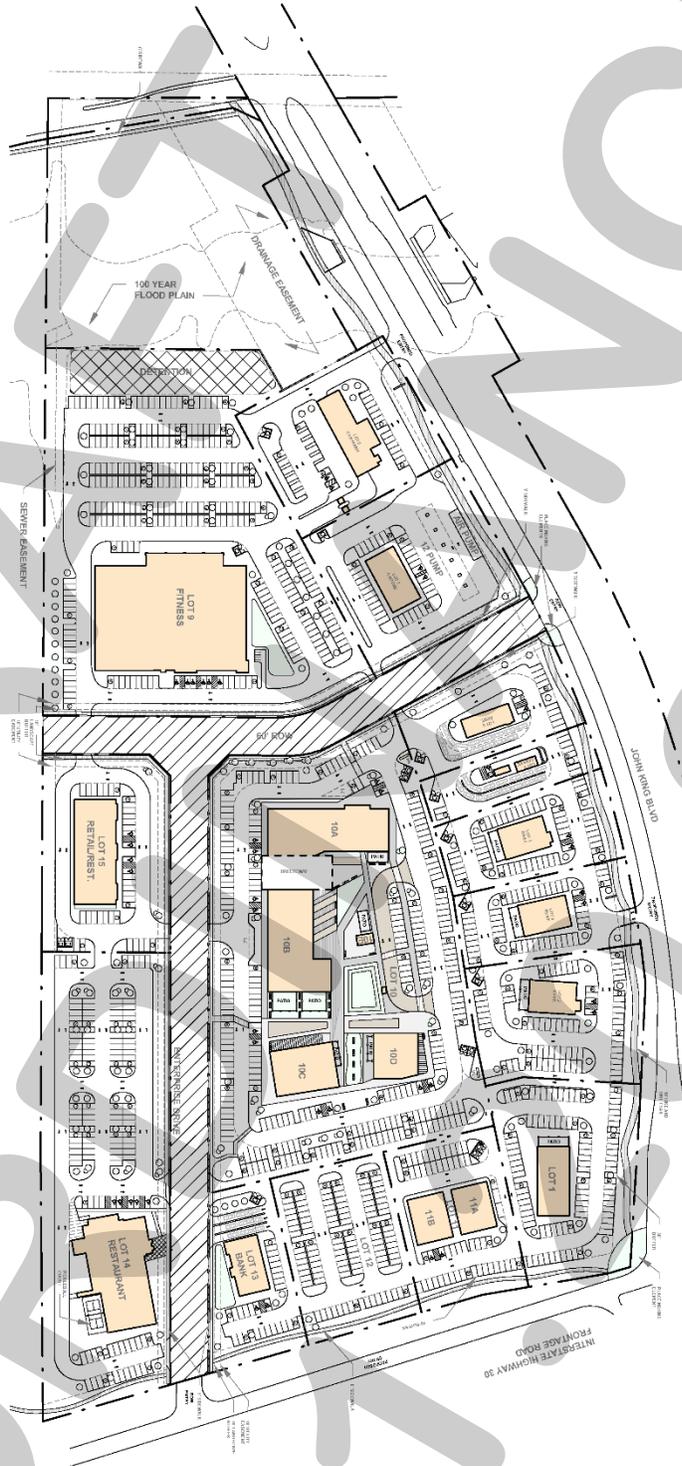
**Exhibit 'B':  
Conceptual Zoning Plan**



Exhibit 'C':  
Concept Plan



LINE AND SYMBOL LEGEND	
	EASEMENT
	PROPERTY LINE
	GREEN SPACE
	BUILDING
	ROW
	DETENTION



ROCKWALL, TX

COMMONS AT ROCKWALL - STUDY 31

THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITY EASEMENTS, SETBACKS, LOT PROPORTION LINES, PARKING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNERS SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRANCES, ETC.

**modus** architecture  
DATE: 01/08/2028 CASE #: Z2025-077

Exhibit 'D':  
Conceptual Building Elevations

VIEW A



HUNINGTON - JOHN KING TOWN CENTER

CONCEPTUAL IMAGES

modus architecture

THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITY EASEMENTS, SETBACKS, LOT PROPERTY LINES, GRADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNER'S SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRANCES, ETC.

DATE: 12/11/2025

**Exhibit 'D':  
Conceptual Building Elevations**

**VIEW B**



**HUNINGTON - JOHN KING TOWN CENTER**

**CONCEPTUAL IMAGES**

**modus architecture**

THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITY EASEMENTS, SETBACKS, LOT PROPERTY LINES, GRADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNER'S SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRIES, ETC.

DATE: 12/11/2025

**Exhibit 'D':  
Conceptual Building Elevations**

**VIEW C**



**HUNINGTON - JOHN KING TOWN CENTER**

**CONCEPTUAL IMAGES**

**modus architecture**

THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITY EASEMENTS, SETBACKS, LOT PROPERTY LINES, GRADINGS, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNER'S SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRIES, ETC.

DATE: 12/11/2025

Exhibit 'D':  
Conceptual Building Elevations



VIEW D

5

**modus** architecture

HUNINGTON - JOHN KING TOWN CENTER | CONCEPTUAL IMAGES

THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITY EASEMENTS, SETBACKS, LOT PROPERTY LINES, SHADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNER'S SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRIES, ETC. DATE: 12/11/2025



Exhibit 'D':  
Conceptual Building Elevations

EXTERIOR ELEVATIONS - BUILDING 10B



**HUNTINGTON - SHOPS AT ROCKWALL** | **CONCEPTUAL IMAGES** | **modus architecture**

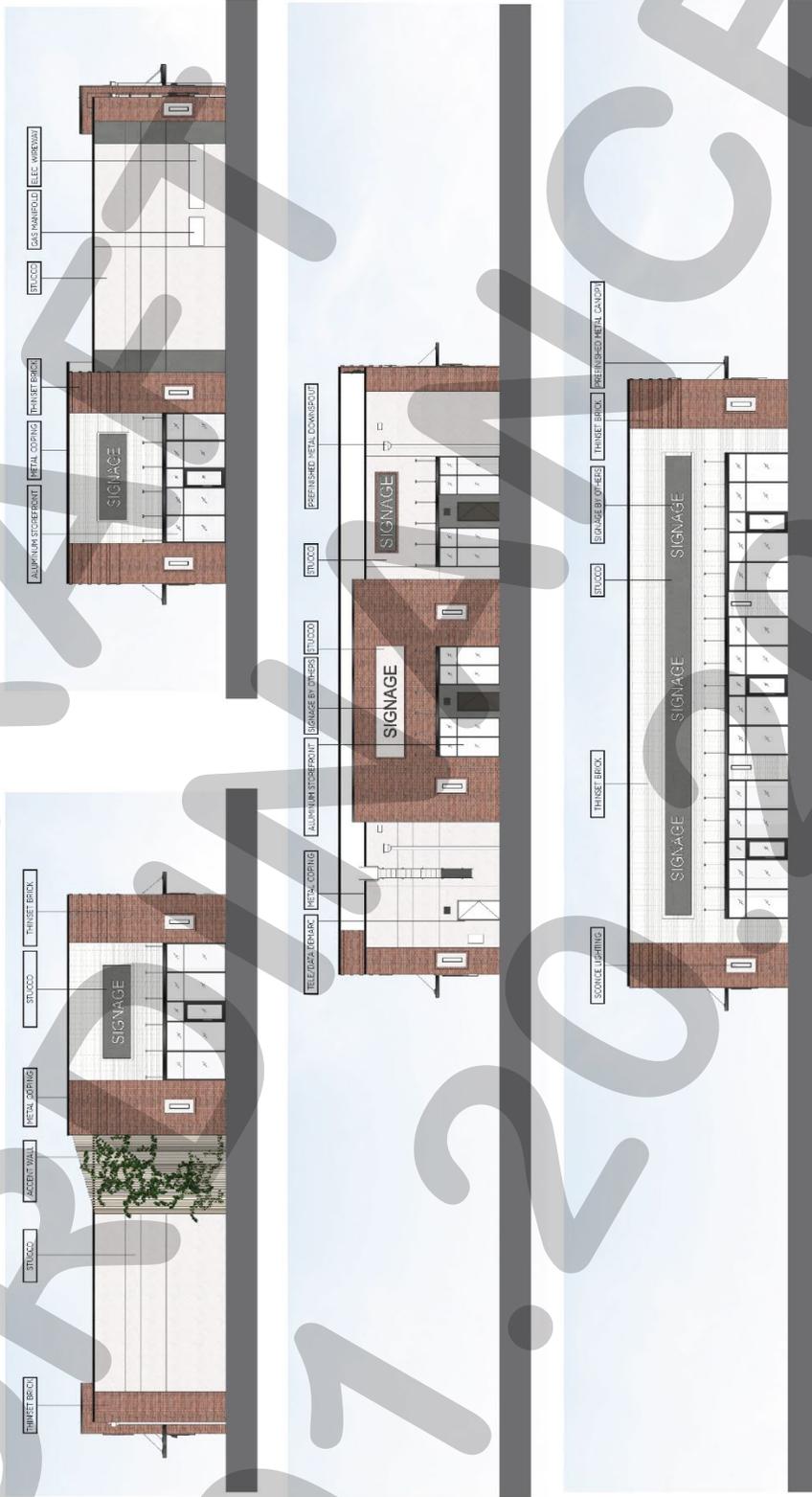
THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITY EASEMENTS, SETBACKS, LOT PROPERTY LINES, GRADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNER'S SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PATHEMENT TYPES, DRIVE ENTRIES, ETC.

DATE: 01/08/2026 CASE #: Z2025-077

Exhibit 'D':  
Conceptual Building Elevations

EX

**EXTERIOR ELEVATIONS - BUILDING 10C**



THIS IS OWN

**HUNTINGTON - SHOPS AT ROCKWALL** | **CONCEPTUAL IMAGES** | **modus architecture**

THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. ALL DIMENSIONS, UTILITY EASEMENTS, SETBACKS, LOT PROPERTY LINES, GRADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY THE OWNER AND/OR OWNER'S SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OPEN SPACE REQUIREMENTS, PAVEMENT TYPES, DRIVE ENTRIES, ETC.

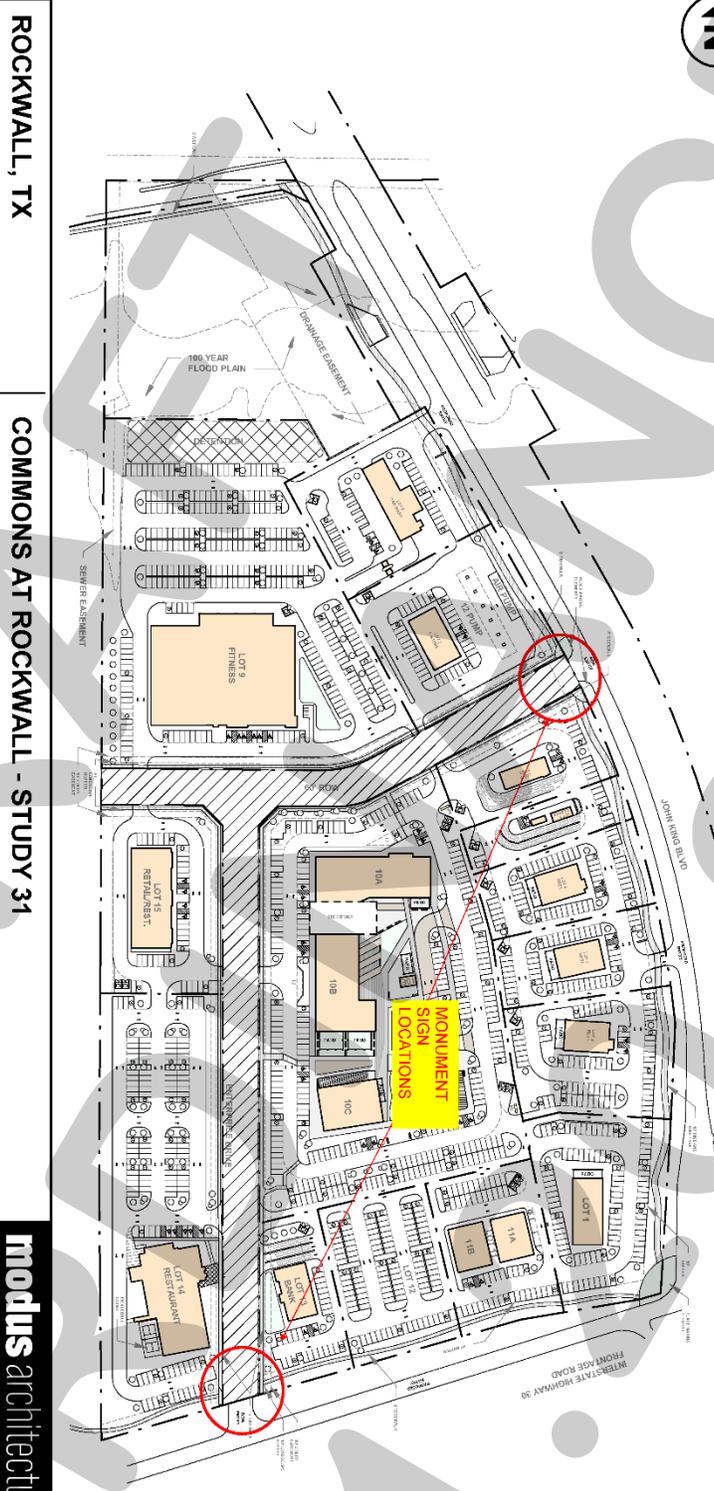
DATE: 01/08/2026  
CASE #: 22025-077

CD



**Exhibit 'E':  
Shopping Center Signage Plan**

LINE AND SYMBOL LEGEND	
	EASEMENT
	PROPERTY LINE
	GREEN SPACE
	BUILDING
	ROW
	DEFENTION

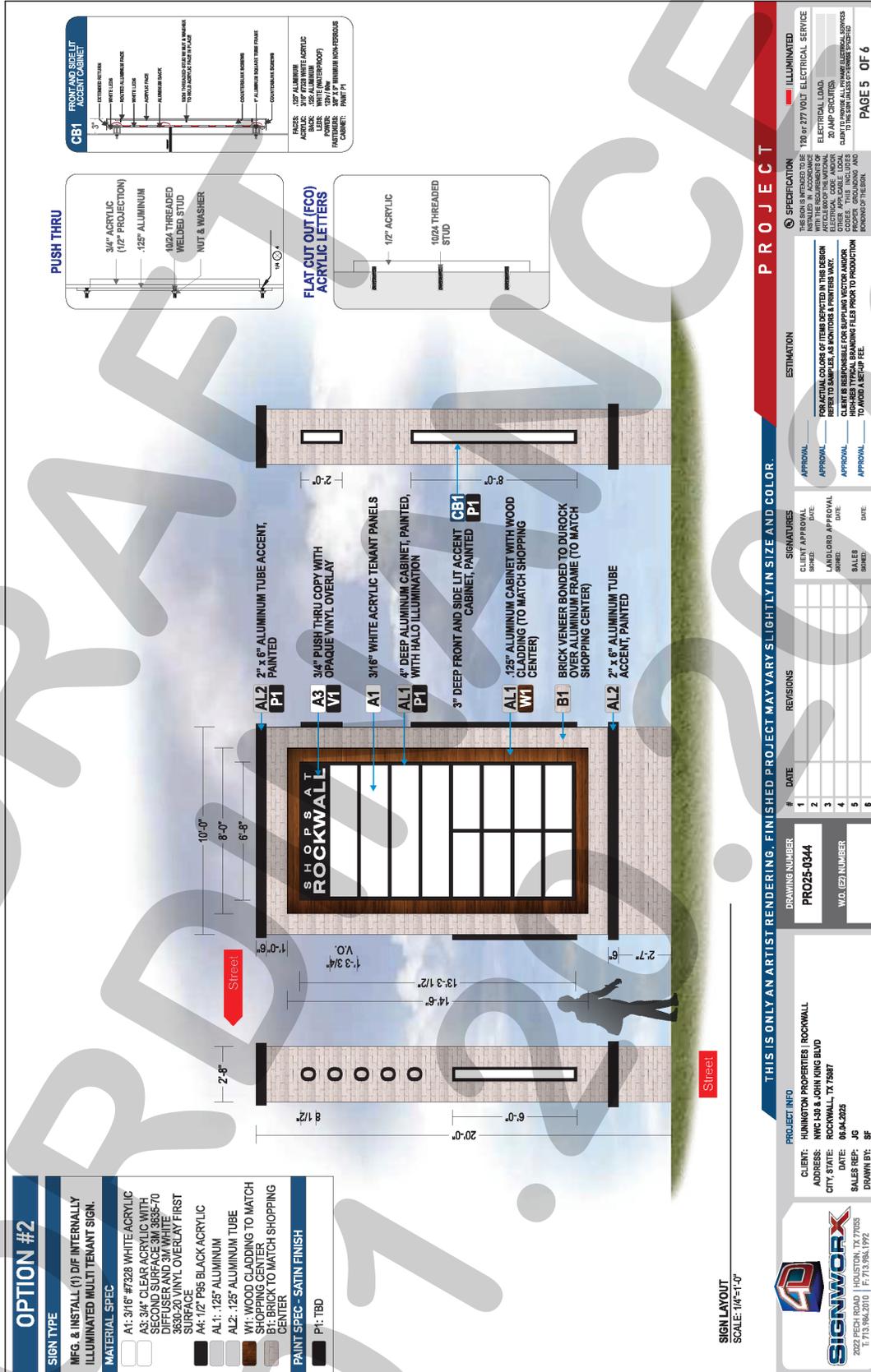


THIS DRAWING IS CONSIDERED A PRELIMINARY DESIGN AND SHOULD NOT BE USED AS AN INCORPORATIVE REFERENCE. ALL DIMENSIONS, UTILITIES, EASEMENTS, SETBACKS, LOT PROPORTIONS, GRADING, AND SITE REQUIREMENTS SHOULD BE VERIFIED FOR ACCURACY BY OWNER AND/OR OWNERS SURVEYOR AND CIVIL ENGINEER. PARTICULAR CONSIDERATION SHOULD BE GIVEN TO OTHER SPACE REQUIREMENTS, PARKING TYPES, OWNER SERVICES, ETC.

**modus architecture**  
DATE: 01/08/2026 CASE #: Z2025-077



**Exhibit 'F':  
Shopping Center Signage Elevations**



**OPTION #2**

- SIGN TYPE**  
MFG. & INSTALL (I) D/F INTERNALLY ILLUMINATED MULTITENANT SIGN.
- MATERIAL SPEC**
- A1: 3/16" #7228 WHITE ACRYLIC
  - A3: 3/4" CLEAR ACRYLIC WITH SECOND SURFACE 3M 3885-70 DIFFUSER AND 3M WHITE 3630-20 VINYL OVERLAY FIRST SURFACE
  - A4: 1/2" P95 BLACK ACRYLIC
  - AL1: 125" ALUMINUM
  - AL2: 125" ALUMINUM TUBE
  - W1: WOOD CLADDING TO MATCH SHOPPING CENTER
  - B1: BRICK TO MATCH SHOPPING CENTER
- PAINT SPEC - SATIN FINISH**
- P1: TBD

SIGN LAYOUT  
SCALE: 1/4"=1'-0"

**THIS IS ONLY AN ARTIST RENDERING. FINISHED PROJECT MAY VARY SLIGHTLY IN SIZE AND COLOR.**

DRAWING NUMBER		REVISIONS		SIGNATURES		ESTIMATION	
#	DATE	#	DATE	CLIENT APPROVAL	APPROVAL	APPROVAL	APPROVAL
1				DATE			
2				DATE			
3				DATE			
4				DATE			
5				DATE			
6				DATE			

**PROJECT INFO**  
 CLIENT: HUNTING PROPERTIES | ROCKWALL  
 ADDRESS: 3000 JOHN KING BLVD | ROCKWALL, TX 75087  
 CITY, STATE: ROCKWALL, TX 75087  
 DATE: 06.04.2025  
 SALES REP: JG  
 DRAWN BY: SF

**SIGNWORX**  
 2022 PECH ROAD | HOUSTON, TX 77055  
 T: 713.964.2010 | F: 713.964.1192

**SPECIFICATION**  
 THIS SIGN IS INTENDED TO BE ILLUMINATED WITH THE REQUIREMENTS OF ELECTRICAL LOAD, 20 AMP CIRCUITS. CLIENT IS RESPONSIBLE FOR SUPPLYING VECTOR AND/OR PHOTO FILES PRIOR TO PRODUCTION TO AVOID A SETUP FEE.

PAGE 5 OF 6

**Exhibit 'G':**  
*Density and Development Standards*

**G.1 REVIEW PROCESS.**

The subject property shall be generally developed in accordance with the *Concept Plan* contained in *Exhibit 'C'* of this ordinance and in conformance with the procedures contained in Article 10, *Planned Development Regulations*, and Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC); however, the Director of Planning and Zoning may require/the property owner may request a *PD Development Plan* where a development request departs from the intent of this *Concept Plan*. A *PD Development Plan* constitutes an amendment to the approved *Concept Plan* and Planned Development District ordinance, and shall follow the same review and approval process as the establishment of a Planned Development District.

**G.2 PLANNED DEVELOPMENT DISTRICT STANDARDS.**

(1) Permitted Uses. Unless specifically provided for by this Planned Development District ordinance, the *Subject Property* shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following shall apply:

(a) The following land uses shall be permitted By-Right:

- FULL-SERVICE HOTEL
- CRAFT/MICRO BREWERY, DISTILLERY, AND/OR WINERY

(b) The following land uses shall be expressly Prohibited:

- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (*I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB*)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC
- PORTABLE BEVERAGE SERVICE FACILITY
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES

**Exhibit 'G':  
Density and Development Standards**

- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROPOFF/PICKUP SERVICES
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS <sup>(1)</sup>
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- SECONDHAND DEALER
- BAIL BOND SERVICES
- BUILDING AND LANDSCAPE MATERIAL WITH LIMITED OUTSIDE STORAGE
- BUILDING MAINTENANCE, SERVICE, AND SALES WITHOUT OUTSIDE STORAGE
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE <sup>(2)</sup>
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT
- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE
- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP
- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- USED MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- RECREATIONAL VEHICLE (RV) SALES AND SERVICE
- SERVICE STATION
- TEMPORARY ASPHALT OR CONCRETE BATCH PLANTS
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- WHOLESALE SHOWROOM FACILITY
- COMMERCIAL ANTENNA
- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

**NOTES:**

<sup>(1)</sup>: UNLESS ACCESSORY TO A SPA OR HAIR SALON.

<sup>(2)</sup>: UNLESS ACCESSORY TO A GENERAL RETAIL STORE.

(2) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, the *Subject Property* -- as depicted in Exhibits 'B' & 'C' of this ordinance -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on the *Subject Property* shall conform to the standards depicted in *Table 2*, which are as follows:

**TABLE 2: LOT DIMENSIONAL REQUIREMENTS**

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'

**Exhibit 'G':  
Density and Development Standards**

MINIMUM FRONT YARD SETBACK <sup>(1)</sup>	25'
MINIMUM SIDE YARD SETBACK <sup>(2)</sup>	10'
MINIMUM REAR YARD SETBACK <sup>(2)</sup>	10'
MINIMUM BETWEEN BUILDINGS <sup>(2)</sup>	15'
MAXIMUM BUILDING HEIGHT <sup>(3)</sup>	60'
MAXIMUM LOT COVERAGE <sup>(4)</sup>	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- <sup>1</sup>: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- <sup>2</sup>: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- <sup>3</sup>: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- <sup>4</sup>: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

(3) Building Design and Material Standards. Unless otherwise stipulated by this Planned Development District, all buildings on the *Subject Property* shall be subject to the building material and development standards stipulated by the *General Overlay District Standards* as outline in Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, *Buildings 10, 11, & 12 -- as depicted in the Concept Plan in Exhibit 'C'* -- shall generally conform to the *Conceptual Building Elevations* depicted in *Exhibit 'D'* of this ordinance. In addition, all buildings on the *Subject Property* shall incorporate complementary architectural styles, materials and colors. The consistency and compatibility of a buildings design shall be reviewed by the Architectural Review Board (ARB) at the time of Site Plan.

(4) Utility Placement. All overhead utilities shall be placed underground.

(5) Landscape Buffers. All landscape buffers shall be exclusive of any existing or proposed easements located along public rights-of-way and shall be provided as follows:

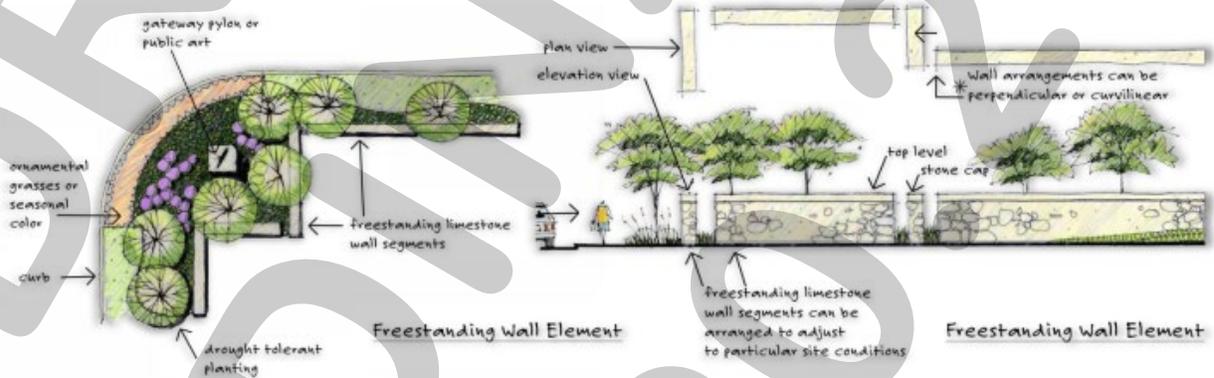
(a) John King Boulevard. A minimum of a 30-foot landscape buffer shall be provided along the frontage of the John King Boulevard (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall each have a minimum height 30-inches and may be non-continuous and undulating. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering/curvilinear ten (10) foot hike/bike trail shall be constructed within the 30-foot landscape buffer.

(b) IH-30 Frontage Road. A minimum of a 30-foot landscape buffer shall be provided along the frontage of the IH-30 Frontage Road (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall each have a minimum height 30-inches and may be non-continuous and undulating. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering/curvilinear six (6) foot sidewalk/trail shall be constructed within the 30-foot landscape buffer.

**Exhibit 'G':  
Density and Development Standards**

- (c) Justin Road. A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Justin (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, and shrubbery along the entire length of the frontage. In addition, one (1) canopy trees and one (1) accent trees shall be planted per 100-linear feet of frontage. A six (6) foot sidewalk/trail shall be constructed within the ten (10) foot landscape buffer.
- (d) North/South [Enterprise Drive] and East/West [Unnamed] Public Roadways. A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Justin (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, and shrubbery along the entire length of the frontage. In addition, one (1) canopy trees and one (1) accent trees shall be planted per 100-linear feet of frontage. A five (5) foot sidewalk shall be constructed within the ten (10) foot landscape buffer.
- (6) Place-Making Elements. In accordance with the John King Boulevard Corridor Plan contained in the OURHometown Vision 2040 Comprehensive Plan, place-making elements generally in conformance with *Figures 1 & 2* below shall be incorporated adjacent to the ten (10) foot hike/bike trail required along John King Boulevard at [1] the corner of the intersection of John King Boulevard and the IH-30 Frontage Road, and [2] at the north or south intersection of the currently unnamed east/west roadway -- *bisecting the development* -- and John King Boulevard. In addition, the developer shall provide intersection enhancements in conformance with *Figure 3* below.

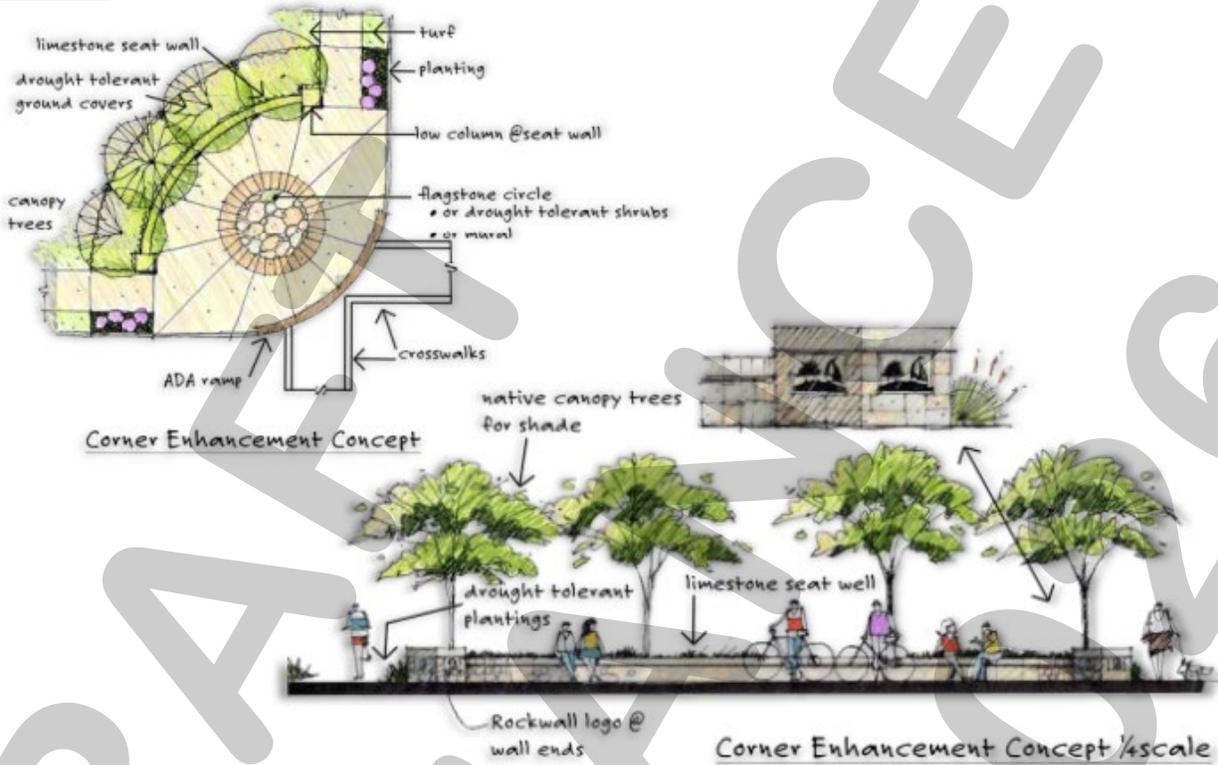
**FIGURE 1: PLACE MAKING ELEMENT**



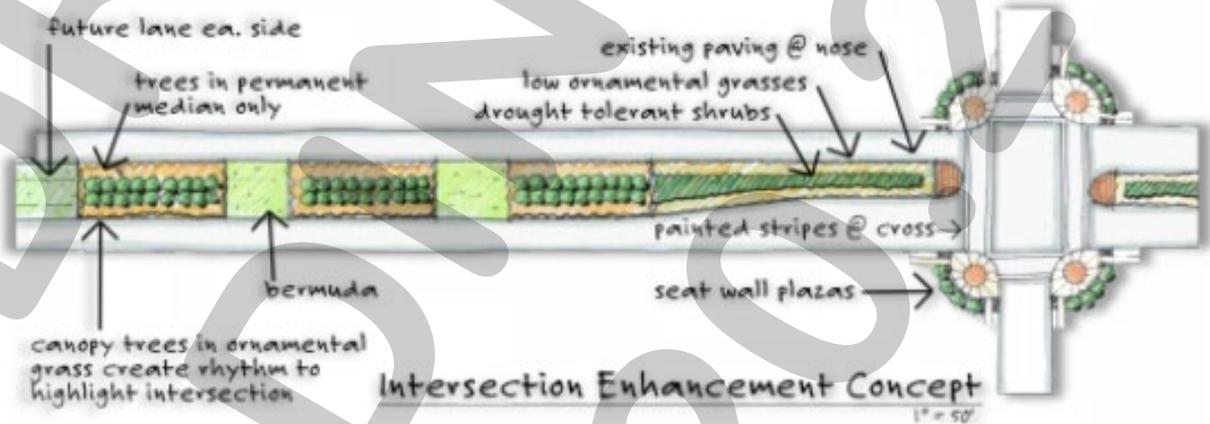
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**Exhibit 'G':  
Density and Development Standards**

**FIGURE 2: PLACE MAKING ELEMENT**



**FIGURE 3: INTERSECTION ENHANCEMENT CONCEPT**



(7) **Signage.** All signage shall be outside of all existing or proposed easements and conform to the requirements of Chapter 32, *Signs*, of the Municipal Code of Ordinances; however, two (2) *Shopping Center Signs* conforming to the *Shopping Center Signage Elevations* contained in *Exhibit 'F'* of this ordinance shall be permitted in the locations depicted in the *Shopping Center Signage Plan* contained in *Exhibit 'E'* of this ordinance.

(8) **Variations/Exceptions.** Variations and exceptions to the requirements of this ordinance shall be submitted and approved in accordance with the process and procedures set forth in Article 11, *Development Applications and Review procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Mayor and City Council  
**DATE:** January 20, 2026  
**APPLICANT:** Jonathan Brown, AIA; *JHP Architecture/Urban Design*  
**CASE NUMBER:** Z2025-078; *Zoning Change (SF-7 to PD)*

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### **SUMMARY**

Hold a public hearing to discuss and consider a request by Johnathan Brown, AIA of JHP Architecture/Urban Design on behalf of Darlene Singleton of the Rockwall Community Playhouse for the approval of a Zoning Change from Single-Family 7 (SF-7) District to a Planned Development District for Single-Family 7 (SF-7) District land uses for a 1.0061-acre tract of land identified as a portion of Lot 120D and all of Lots 120C & 120G of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 609 E. Rusk Street and 606, 610, & 612 Kaufman Street, and take any action necessary.

### **BACKGROUND**

The subject property was annexed prior to 1911 based on the April 1911 Sanborn Maps. According to the January 3, 1972 zoning map the subject property was zoned Single-Family 3 (SF-3) District. At some point between January 22, 1982 and May 16, 1983 the subject property was rezoned from a Single-Family 3 (SF-3) District to Single-Family 7 (SF-7) District. The property has remained zoned Single Family (SF-7) District since this date.

On April 20, 2017, the Historic Preservation Advisory Board (HPAB) approved a motion to delay a Certificate of Appropriateness (COA) [Case No. H2017-004] to allow the demolition of the Old Rockwall Water Pump House for 60-days. Ultimately, the building was not purchased and was demolished. This represents the only changes made to the subject property.

On May 30, 2025, the applicant -- *Jonathan Brown, AIA of JHP Architecture and Urban Design* -- submitted a request for a Certificate of Appropriateness (COA) to allow [1] the demolition of two (2) Medium Contributing Structures, [2] the construction of a new performance center and practice hall, and [3] a zoning change from a Single-Family 7 (SF-7) District to a Planned Development District for two (2) Medium-Contributing Properties, one (1) Low Contributing Property, and two (2) Non-Contributing Properties. Ultimately, on July 17, 2025, the Historic Preservation Advisory Board (HPAB) approved a motion to allow the applicant to withdraw the request following a public hearing. The purpose of the withdraw, was to allow the applicant additional time to meet with the community to discuss the design of the project. Following this withdraw, the applicant submitted a new COA request [Case No. H2025-019] on October 29, 2025 for the same request; however, a new concept plan and conceptual building elevations were provided. On November 20, 2025, the Historic Preservation Advisory Board (HPAB) approved a motion to approve the COA by a vote of 5-0, with Board Members McNeely and Lewis absent. Based on the approval of the Certificate of Appropriateness (COA), the Historic Preservation Advisory Board (HPAB) has sent forward a recommendation of approval to the Planning and Zoning Commission for the proposed zoning change.

### **PURPOSE**

On December 12, 2025, the applicant -- *Johnathan Brown, AIA of JHP Architecture/Urban Design* -- submitted an application requesting to change the zoning of the subject property from a Single Family 7 (SF-7) District to a Planned Development District for Single Family 7 (SF-7) District land uses, with the addition of the *Community Theater* land use being permitted by-right.

## **ADJACENT LAND USES AND ACCESS**

The subject property is located at 609 E. Rusk Street and 606, 610, & 612 Kaufman Street. The land uses adjacent to the subject property are as follows:

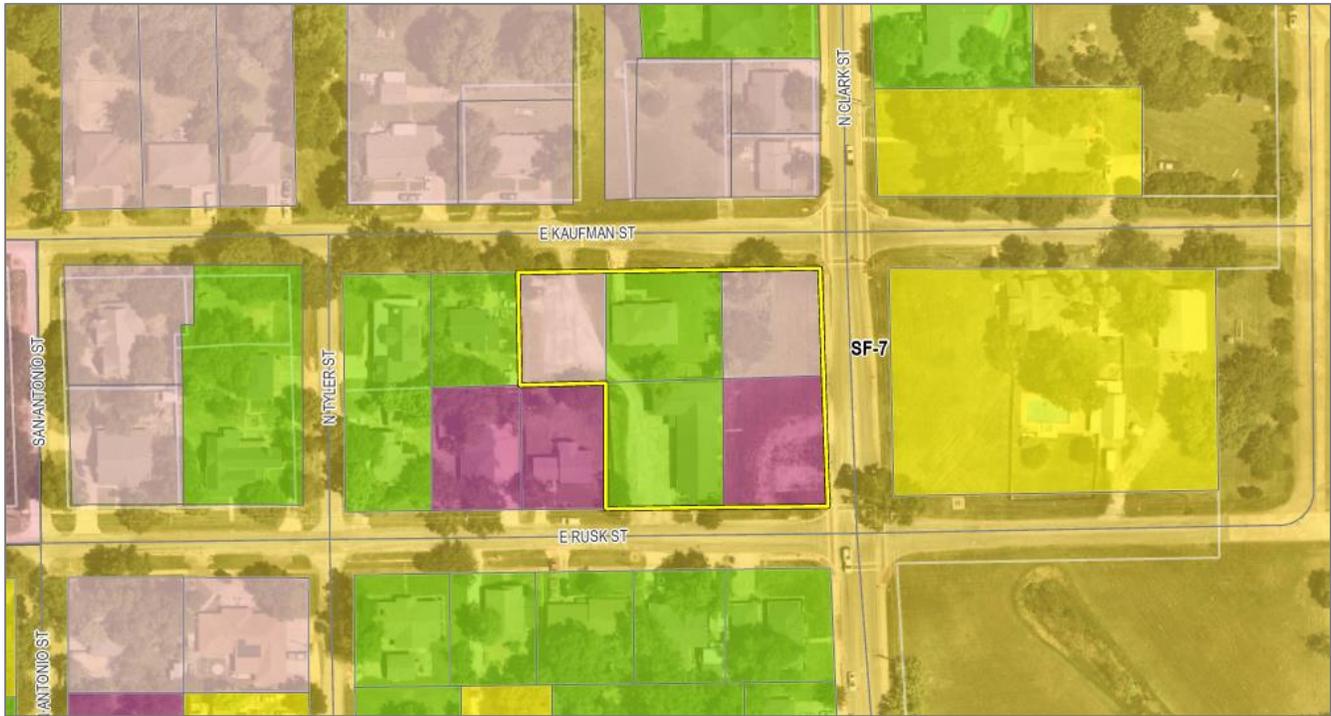
North: Directly north of the subject property is E. Kaufman Street, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land, one (1) parcel (*i.e. part of Block 22, F&M Addition*) is vacant and the other two (2) parcels (*i.e. 201 & 203 N. Clark Street*) are developed with single-family homes that are designated as *Low Contributing Properties*. Following this is a 0.3230-acre parcel of land (*i.e. 205 N. Clark Street*) developed with a single-family home that is designated as a *Medium Contributing*. North of this is a 30-foot right-of-way developed with a sidewalk that serves *Lofland Park*, which is a 1.377-acre public park owned by the City of Rockwall. All of these properties are zoned Single Family 7 (SF-7) District and are located within the Old Town Rockwall (OTR) Historic District.

South: Directly south of the subject is E. Rusk Street, which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are five (5) parcels of land (*i.e. 606, 608, & 610 E. Rusk Street; 102 & 106 S. Clark Street; 609 E. Washington Street*) developed with one (1) *Duplex* and four (4) single-family homes. All of these properties are classified a *Medium Contributing Properties* within the Old Town Rockwall (OTR) Historic District and are zoned Single Family 7 (SF-7) District. Following this is E. Washington Street, which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is N. Clark Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 1.503-acre parcel of land (*i.e. 104 S. Clark Street*) developed with a single-family home that is designated as a *High Contributing Property* and is located within the Old Town Rockwall (OTR) Historic District. Following this is the boundary for the Old Town Rockwall (OTR) Historic District. East of this is an 18.407-acre parcel of land (*i.e. Rockwall School No. 1 Addition*) developed with the Howard Dobbs Elementary School. Both of these properties are zoned Single Family 7 (SF-7) District.

West: Directly west of the subject property are two (2) parcels of land (*i.e. 603 & 605 E. Rusk Street*) developed with *Low Contributing* single-family homes. Beyond this are three (3) parcels of land (*i.e. 604 E. Kaufman Street; 601 E. Rusk Street; 102 N. Tyler Street*) developed with single-family homes that are designated as *Medium Contributing Properties*. Following this is N. Tyler Street, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. All of these properties are zoned Single-Family 7 (SF-7) District and are located within the Old Town Rockwall (OTR) Historic District.

**MAP 1: LOCATION MAP**  
**YELLOW: SUBJECT PROPERTY**



**CHARACTERISTICS OF THE REQUEST**

Currently established on the subject property is a single-family home and a legally non-conforming *Community Theater* (i.e. *Rockwall Community Playhouse*). The applicant has submitted a request to change the zoning on the subject property from Single Family 7 (SF-7) District to a Planned Development District for Single Family 7 (SF-7) District land uses, with the *Community Theater* land use to be permitted by-right. The applicant has indicated that this request is being made in order to allow the *Theater* (i.e. *Rockwall Community Playhouse*) to construct a new facility, given that the existing Single Family 7 (SF-7) District does not permit the *Theater* land use. Staff should note, that within the *Draft Ordinance* the *Theater* land use is defined as “a *Community Theater*, whereas a *Community Theater* is a locally organized performing arts organization that produces theatrical productions primarily for the enjoyment, participation, and cultural enrichment of the local community.” This definition mitigates the risk of a large *Theater* being established on the subject property that is not in kind to the surrounding neighborhood, and does not benefit a local performing arts organization. Included with the applicant’s request is a *Concept Plan* and *Conceptual Building Elevations*. Based on the applicant’s provided documents, staff has prepared a summary of the dimensional requirements contained within the Planned Development District ordinance for the subject property. The projects conformance with the proposed standards is as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Proposed Conformance to the Standards</i>
<i>Minimum Lot Area</i>	7,000 SF	X=35,066 SF; <i>In Conformance</i>
<i>Minimum Lot frontage</i>	60-Feet	X>60-feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	X=100-feet; <i>In Conformance</i> X=20-feet E. Kaufman Street; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	20-Feet	X=15-feet N. Clark Street; <i>Non-Conforming</i> X=20-feet E. Rusk Street; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; <i>In Conformance</i>
<i>Side Yard Adjacent to Residential</i>	20-Feet	X=10-feet; <i>Non-Conforming</i>
<i>Maximum Building Height</i>	32-Feet	X=35-feet; <i>Non-Conforming</i>
<i>Max Building/Lot Coverage</i>	45%	X=33.37%; <i>In Conformance</i>

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Proposed Conformance to the Standards</i>
<i>Minimum Number of Parking Spaces</i>	<i>1/3 Seats = 54 spaces</i>	<i>X=51; Non-Conforming</i>

## **INFRASTRUCTURE**

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) Roadways. Based on the proposed *Concept Plan* the applicant will not be required to improve any of the existing roadways; however, a five (5) foot sidewalk must be constructed two (2) feet back from any adjacent roadway and must be designed in accordance with the requirements of the Engineering Department's *Design and Construction Manual*.
- (2) Wastewater. The applicant has access to an eight (8) inch sewer main along E. Rusk Street, E. Kaufman Street, and N. Clark Street for this development.
- (3) Water. The applicant has access to an eight (8) inch water main along E. Rusk Street, E. Kaufman Street, and N. Clark Street for this development.
- (4) Drainage. Detention will be required and sized per the Engineering Standards of *Design and Construction Manual*, be situated outside the floodplain, is based on zoning and not land use. In addition, the detention will be based on any increased impervious area, where the existing impervious area is detained for at a C-value of 0.5, and new impervious area is detained for at a C-value of 0.9.

## **CONFORMANCE TO THE CITY'S CODES**

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

- (1) Setback Requirements. According to Subsection 07.01, *Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the front yard setback adjacent to a street should be 20-feet in a Single-Family 7 (SF-7) District. In this case, the applicant is requesting a 15-foot setback adjacent to N. Clark Street.

Applicant's Response: The applicant has indicated that the 15-foot front yard setback adjacent to N. Clark Street in being requested in order to provide a functional space for the proposed *Theater* and place the majority of the parking behind the primary building.

- (2) Residential Adjacency. According to Subsection 05.02(B), *Landscape Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), a 20-foot landscape buffer that incorporates "...a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers..."; however the "...the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening..." In this case, the applicant is requesting to provide a ten (10) foot landscape buffer, with a six (6) to eight (8) foot wood fence, and canopy trees on 20-foot centers.

Applicant's Response: The applicant has indicated that the reduced width in the residential adjacency buffer has been requested due to constraints in the size of the site. In addition, the applicant has indicated that they believe the wood fence would be more residential in scale/design and would fit in better with the surrounding and adjacent residential properties.

- (3) Building Height. According to Subsection 07.01, *Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the maximum building height is 32-feet in the Single-Family 7 (SF-7) District. In this case, the applicant is requesting an increase of three (3) feet for a total height of 35-feet.

Applicant's Response: The applicant has indicated increased height is being requested in order to accommodate the stage and sets being utilized by the proposed *Theater*.

- (4) Parking Requirements. According to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), a *Theater* is required one (1) parking space per three (3) seats. In this case, the proposed *Theater* will have 160 seats, which requires 54 parking spaces; however, the applicant is providing 51 parking spaces for a deficit of three (3) parking spaces.

Applicant's Response: The applicant has indicated the reduced parking standard is being requested due to size constraints of the site.

- (5) Landscape Standards. According 05.01(B), *Landscape Buffers*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(a) minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot ... All landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30-inches. In these areas a minimum of one (1) canopy tree and one (1) accent tree shall be incorporated into the landscape buffer per 50-linear feet of frontage along the adjacency." In this case, the applicant is requesting to not provide berms in the landscape buffers. In addition, the applicant is requesting to provide only a row of evergreen shrubs along E. Kaufman Street, and only one (1) accent tree per 50 linear feet along N. Clark Street.

Applicant's Response: The applicant has indicated that this variance is being requested due to the size constraints of the site. In addition, the applicant has indicated that public utilities along the three (3) street frontages provide challenges for planting of trees, and the overhead power lines along N. Clark Street limit the tree plantings to only accent or understory trees.

- (6) Driveway Spacing. Based on the driveway spacing standards within the Engineering Department's *Standards of Design and Construction Manual*, a driveway must be 200-feet from the intersection of N. Clark Street and E. Kaufman Street. In this case, the applicant is proposing an exit only driveway onto N. Clark Street that is less than 200-feet from the intersection.

Applicant's Response: The applicant has indicated that this variance is being requested in order to provide better circulation and provide another egress point for the site.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Downtown District and is designated for Medium Density Residential land uses. The plan defines Medium Density Residential land uses as residential subdivisions that are "... greater than two and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses." In this case, the applicant is proposing to keep the single-family base zoning; however, if approved, the *Theater* land use would be permitted by-right. Given this, a *Community Theater* would represent a Quasi-Public land use designation on the *Future Land Use Plan*. This proposed change would constitute a change in the *Future Land Use Plan*, which is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. That being said, the Downtown District states that this district is the "...cultural heart of the community and embodies the small-town atmosphere that is characteristic of the City of Rockwall." The City Council -- *pending a recommendation from the Planning and Zoning Commission* -- should consider if a *Community Theater* would detract from the "cultural heart" or "small town atmosphere" that has been established within the Downtown District.

With regard to the policies and goals for commercial development contained in the Comprehensive Plan, the applicant's request incorporates the majority of the commercial policies and goals (*e.g. minimum of six [6] foot side yard setbacks on all lot types, traditional swing or J-swing garages, etc.*); however, by virtue of being located within an existing neighborhood and being located within the *Old Town Rockwall (OTR) Historic District*, the applicant's request warrants careful consideration with

regard to the policies and goals set forth by the Comprehensive Plan for non-residential development. That being said, staff has identified the following goals and policies that the Planning and Zoning Commission and City Council should consider when taking action on the proposed zoning change:

- (1) CH. 7; Goal #2 (Page 7-1). Create distinctive destinations built around the City's existing assets that invite people into the community and encourage social interaction.
- (2) CH. 8; Goal #8; Policy 4 (Page 7-3). Look for opportunities to coordinate, work with, and support private and non-profit organizations that provide cultural experiences to the community.
- (3) CH. 8; Section 2.01; Goal #1 (Page 8-1). Respect the character of the City's existing residential subdivisions and developments by strengthening and supporting these areas.
- (4) CH. 8; Section 2.01; Goal #2 (Page 8-2). Preserve and enhance the City's established residential neighborhoods and encourage appropriate infill development when pertinent to a revitalization effort.
- (5) CH. 9; Vision Statement (Page 9-1). Non-residential development in the City should respect the natural topography and environment, and be designed to create memorable places that will contribute to the small-town character of the community.
- (6) CH. 9; Goal #4 (Page 9-2). All non-residential buildings should be designed and constructed in unity with the community's existing commercial and residential buildings, and should incorporate high quality materials that will minimize the need for maintenance over time.

Taking into account the applicant's *Concept Plan*, *Conceptual Building Elevations*, and the development standards contained in the Planned Development District ordinance, the request *does* appear to be in conformance with the majority of the goals and policies of the OURHometown Vision 2040 Comprehensive Plan and the development standards of the Unified Development Code (UDC); however, the changes to the *Future Land Use Plan* and the nature of this Planned Development District makes this request a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. Staff should reiterate, that the applicant did hold several meetings with residents of the Old Town Rockwall (OTR) Historic District on the design of the proposed building, and that the neighborhood seemed to be supportive of the proposed building and concept plan in the Historic Preservation Advisory Board (HPAB) meeting on November 20, 2025.

## **NOTIFICATIONS**

On December 17, 2025, staff mailed 81 notices to property owners and occupants within 500-feet of the subject property. Staff notified the Park Place Homeowner's Association (HOA), as they are the only HOA within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any returned notices in regard to the applicants request.

## **CONDITIONS OF APPROVAL**

If the City Council chooses to approve the applicant's request to rezone the subject property from a Single Family 7 (SF-7) District to a Planned Development District for Single Family 7 (SF-7) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant will be required to apply for a demolition permit through the Building Inspections Department; and,
- (2) If constructed, the City Council would be granting a change to the Future Land Use Map -- contained in the OURHometown Vision 2040 Comprehensive Plan -- from a Medium Density Residential designation to Quasi-Public designation.

- (3) The proposed *Community Theater* shall be required to generally conform to the *Concept Plan* and *Conceptual Building Elevations* contained within *Exhibit 'B'* and *Exhibit 'C'* of the Planned Development District ordinance; and,
- (4) The proposed *Theater* shall be required to conform to the *PD Development Standards* contained within *Exhibit 'D'* of the Planned Development District ordinance; and,
- (5) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

### **PLANNING AND ZONING COMMISSION**

On January 13, 2026, the Planning and Zoning Commission approved a motion to recommend approval of the zoning change by a vote of 5-0, with Commissioner Roth absent and one (1) vacancy.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 609 E Rusk Street

SUBDIVISION \_\_\_\_\_

LOT \_\_\_\_\_

BLOCK \_\_\_\_\_

GENERAL LOCATION Corner of Rusk and N Clark Street

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SF-7 Medium Density Residential

CURRENT USE Community Theater

PROPOSED ZONING New PD

PROPOSED USE Community Theater and Practice Hall

ACREAGE 1.0061 Acres

LOTS [CURRENT] \_\_\_\_\_

LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

Architect

CONTACT PERSON Darlene Singleton

CONTACT PERSON Jonathan Brown, AIA

ADDRESS Rockwall Community Playhouse

ADDRESS JHP Architecture/Urban Design

CITY, STATE & ZIP \_\_\_\_\_

CITY, STATE & ZIP \_\_\_\_\_

PHONE \_\_\_\_\_

PHONE \_\_\_\_\_

E-MAIL \_\_\_\_\_

E-MAIL \_\_\_\_\_

### NOTARY VERIFICATION [REQUIRED]

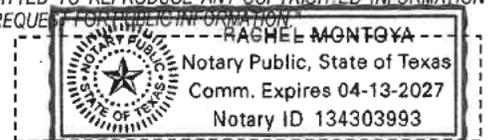
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF December, 2025

OWNER'S SIGNATURE \_\_\_\_\_

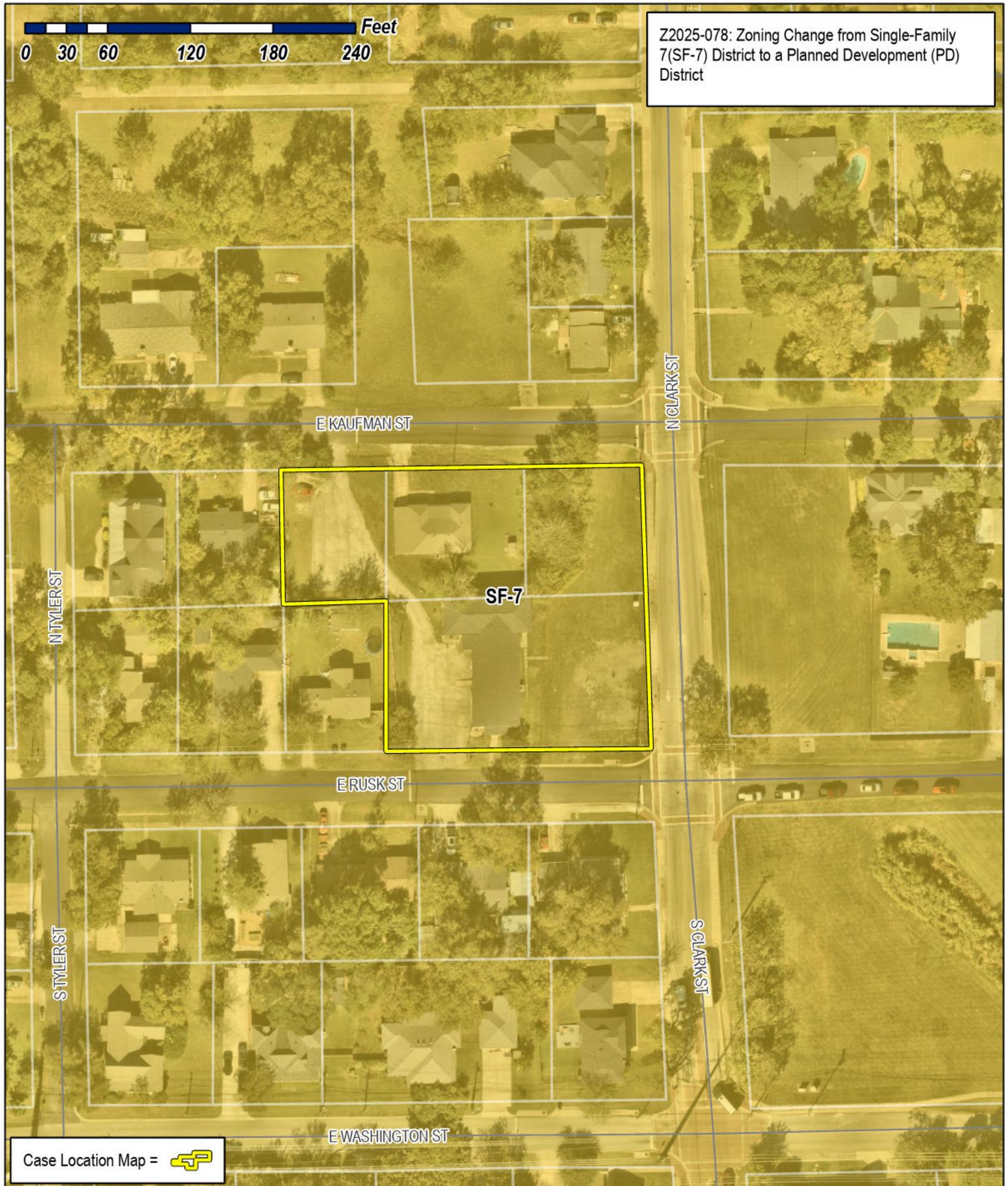
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 4-13-27



Z2025-078: Zoning Change from Single-Family 7(SF-7) District to a Planned Development (PD) District



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

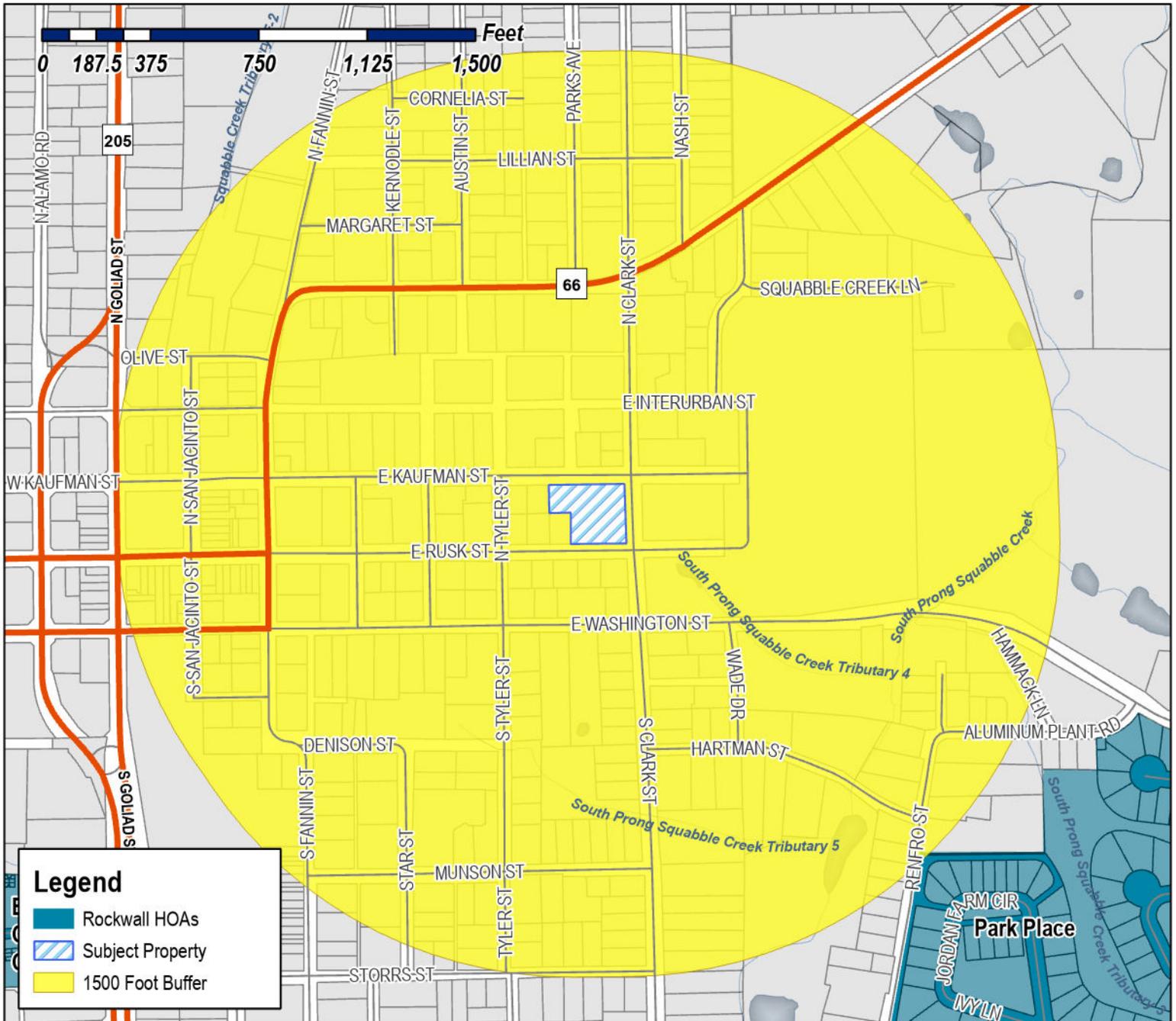




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**Case Number:** Z2025-078  
**Case Name:** Zoning Change from SF-7 to PD for Rockwall Community Playhouse  
**Case Type:** Zoning  
**Zoning:** Single-Family 7 (SF-7) District  
**Case Address:** 609 E Rusk Street

**Date Saved:** 12/15/2025  
 For Questions on this Case Call (972) 771-7745



**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)  
**Subject:** Neighborhood Notification Program [Z2025-078]  
**Date:** Wednesday, December 17, 2025 1:27:08 PM  
**Attachments:** [Public Notice \(12.16.2025\).pdf](#)  
[HOA Map \(12.15.2025\).pdf](#)

---

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, December 19, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, January 13, 2026 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, January 20, 2026 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-  
Z2025-078: Zoning Change from SF-7 to PD

Hold a public hearing to discuss and consider a request by Johnathan Brown, AIA of JHP Architecture/Urban Design on behalf of Darlene Singleton of the Rockwall Community Playhouse for the approval of a [Zoning Change](#) from Single-Family 7 (SF-7) District to a Planned Development District for Single-Family 7 (SF-7) District land uses for a 1.0061-acre tract of land identified as a portion of Lot 120D and all of Lots 120C & 120G of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 609 E. Rusk Street and 606, 610, & 612 Kaufman Street, and take any action necessary.

*Melanie Zavala*

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087

[Planning & Zoning Rockwall](#)

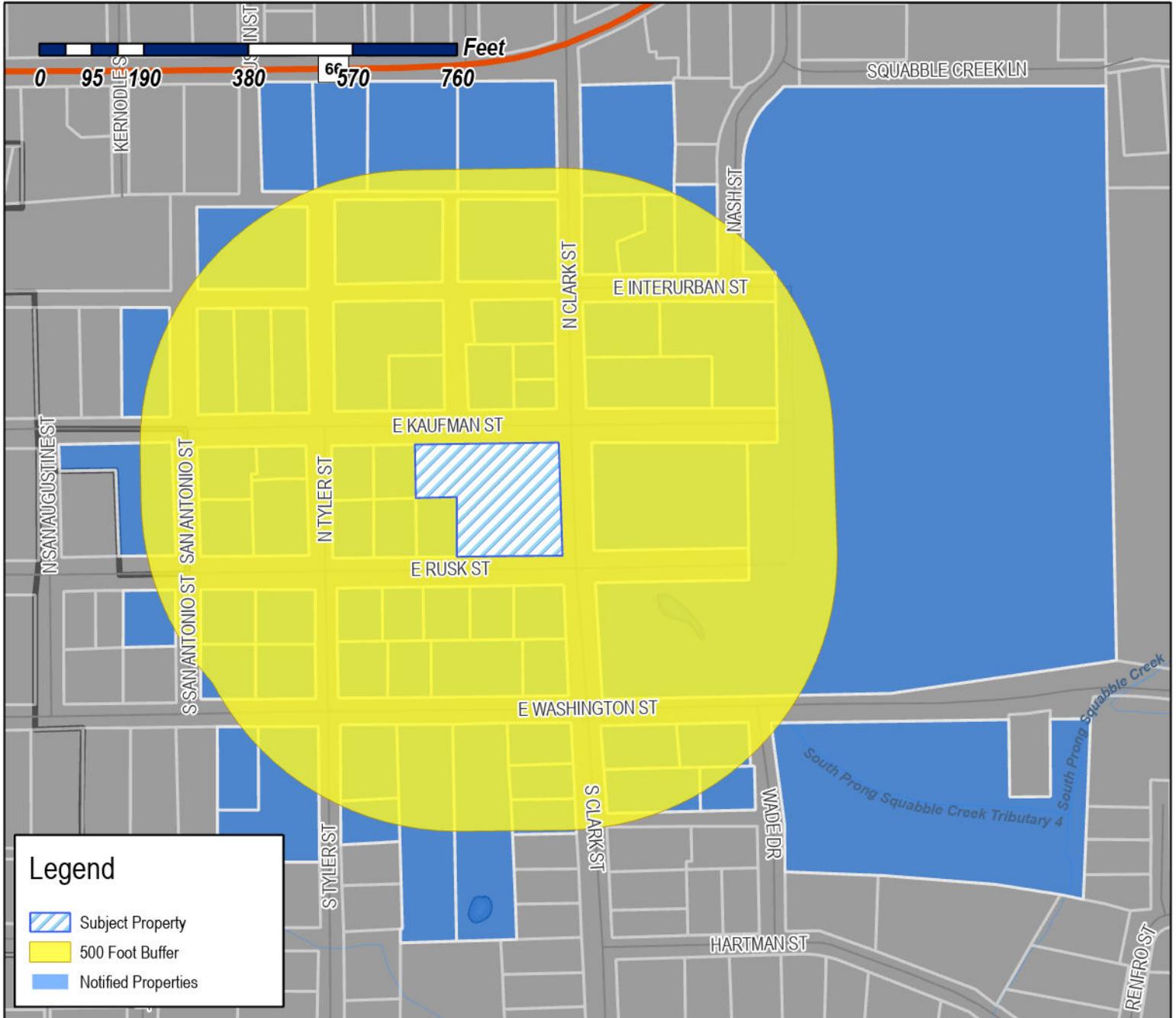
972-771-7745 Ext. 6568



# City of Rockwall

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385 S. Goliad Street  
Rockwall, Texas 75087  
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**Legend**

-  Subject Property
-  500 Foot Buffer
-  Notified Properties

**Case Number:** Z2025-078  
**Case Name:** Zoning Change from SF-7 to PD for Rockwall Community Playhouse  
**Case Type:** Zoning  
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**Case Address:** 609 E Rusk Street

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For Questions on this Case Call: (972) 771-7745



SOUTHWESTERN BELL TELEPHONE CO  
ATTN: PROPERTY TAX DEPARTMENT  
1010 Pine St # 9E-L-01  
Saint Louis, MO 63101

QUINTON BILLY & AUTUMN  
102 N TYLER ST  
ROCKWALL, TX 75087

RESIDENT  
102 S CLARK ST  
ROCKWALL, TX 75087

GATES ROBERT V & CHRISTI C  
104 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
106 S CLARK ST  
ROCKWALL, TX 75087

KUPPER LEROY J ET UX  
108 ELM CREST DR  
ROCKWALL, TX 75087

HARPER LYDIA  
1200 CLEVELAND STREET APT 327  
DENTON, TX 76201

SMILEY KAREN APRIL  
INDEPENDENT ADMINISTRATOR - ESTATE OF  
ROBERT THOMAS WIKTORCH  
1319 Nevarc Rd  
Warminster, PA 18974

HEFLIN JERRY  
159 WESTWARD DR  
ROYSE CITY, TX 75189

RESIDENT  
180 SAN ANTONIO ST  
ROCKWALL, TX 75087

WIMPEE JOE AND  
BEAU WIMPEE  
1800 DALTON RD  
ROCKWALL, TX 75087

VANILLA BEAN PROPERTIES SERIES 9 LLC  
2 MANOR COURT  
HEATH, TX 75032

RESIDENT  
201 N CLARK ST  
ROCKWALL, TX 75087

JORDAN JOHN & ALLISON  
201 S Clark St  
Rockwall, TX 75087

RAGSDALE DONALD K & FRANCES  
202 N CLARK ST  
ROCKWALL, TX 75087

RAGSDALE DONALD KIRK  
202 N CLARK ST  
ROCKWALL, TX 75087

RICH LISA  
202 S CLARK ST  
ROCKWALL, TX 75087

EDWARDS MORGAN BROOKE  
203 N Clark St  
Rockwall, TX 75087

RESIDENT  
204 S CLARK ST  
ROCKWALL, TX 75087

CAWTHON PAULETTE DENISE  
205 N CLARK ST  
ROCKWALL, TX 75087

FOX JONATHAN  
205 S CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
205 S CLARK ST  
ROCKWALL, TX 75087

MCDONALD ROBERT G & MICHELLE A  
206 N CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
206 S CLARK ST  
ROCKWALL, TX 75087

WOOD WILLIAM AND SANDIE  
207 WADE DRIVE  
ROCKWALL, TX 75087

RESIDENT  
210 TYLER ST  
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY  
TRUST  
RICHARD AND JUDY HARRIS- TRUSTEES  
210 GLENN AVENUE  
ROCKWALL, TX 75087

RESIDENT  
211 TYLER ST  
ROCKWALL, TX 75087

TOVAR BASILLIA &  
ROBERTO SALAZAR TAMEZ  
213 CHEYENNE TRL  
TERRELL, TX 75160

BALL JUSTIN  
2155 CLUBVIEW DR  
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC  
2241 AUBURN AVE  
DALLAS, TX 75214

RESIDENT  
301 NASH ST  
ROCKWALL, TX 75087

GLASS JERRY  
301 MEADOWDALE DR  
ROCKWALL, TX 75087

JOHNSON REVOCABLE LIVING TRUST  
JOHNNY L AND JANICE W JOHNSON TRUSTEES  
303 N CLARK ST  
ROCKWALL, TX 75087

RESIDENT  
304 N CLARK ST  
ROCKWALL, TX 75087

DAVIS SHANN M  
306 N CLARK ST  
ROCKWALL, TX 75087

BONFANTE VITTORIO & ANGELA  
3111 ANNETTE CT  
GARLAND, TX 75044

RESIDENT  
405 E KAUFMAN ST  
ROCKWALL, TX 75087

RESIDENT  
406 E KAUFMAN  
ROCKWALL, TX 75087

RESIDENT  
406 E RUSK  
ROCKWALL, TX 75087

BOSS MORRIS E & DEBRA KAY  
408 RIDGEVIEW DR  
ROCKWALL, TX 75087

BARTON SHANNON G  
501 E. KAUFMAN  
ROCKWALL, TX 75087

RESIDENT  
502 E RUSK  
ROCKWALL, TX 75087

RYAN GARY S AND CONSTANCE E  
502 WILLIAMS ST  
ROCKWALL, TX 75087

RICHARDSON CATHERINE E AND TRENTON R  
503 E KAUFMAN  
ROCKWALL, TX 75087

ARCHER KERRY ANNE  
503 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
503 E WASHINGTON  
ROCKWALL, TX 75087

CONFIDENTIAL OWNER  
504 Williams St  
Rockwall, TX 75087

RESIDENT  
505 E KAUFMAN  
ROCKWALL, TX 75087

DUTT JOHN RICHARD JR ETUX  
505 E WASHINGTON ST  
ROCKWALL, TX 75087

PYRON MARSHA G  
505 PETERSON ST  
ROYSE CITY, TX 75189

BIRKENBACK JOSSEPH M & OLGA M  
506 E RUSK ST  
ROCKWALL, TX 75087

WEBB RODNEY D AND FRAN W  
507 E RUSK ST  
ROCKWALL, TX 75087

FRASIER MICHAEL H AND HEATHER C  
510 WILLIAMS  
ROCKWALL, TX 75087

BETHEL TEMPLE BAPTIST  
520 E WASHINGTON STREET  
ROCKWALL, TX 75087

RESIDENT  
601 E KAUFMAN ST  
ROCKWALL, TX 75087

RESIDENT  
601 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
601 E WASHINGTON  
ROCKWALL, TX 75087

RESIDENT  
602 E RUSK  
ROCKWALL, TX 75087

PIERATT NATHAN AND SARA  
602 E WASHINGTON ST  
ROCKWALL, TX 75087

PATRICIA EDWARDS REVOCABLE TRUST  
602 WILLIAMS ST  
ROCKWALL, TX 75087

WALKER KELLI & JESSICA  
603 E RUSK ST  
ROCKWALL, TX 75087

GALVAN CARMAN  
604 E KAUFMAN ST  
ROCKWALL, TX 75087

HORNER ANDREA J  
604 E. RUSK ST  
ROCKWALL, TX 75087

HARPER VICKI DAWSON  
605 E KAUFMAN ST  
ROCKWALL, TX 75087

RESIDENT  
605 E RUSK  
ROCKWALL, TX 75087

GREEN JAMES KEITH II & HOLLY NICOLE  
605 E WASHINGTON STREET  
ROCKWALL, TX 75087

CARSON HEATHER  
606 E WASHINGTON ST  
ROCKWALL, TX 75087

WILLIAMS JERRY LANE  
608 E RUSK ST  
ROCKWALL, TX 75087

WALLACE KATHERINE  
608 E WASHINGTON ST  
ROCKWALL, TX 75087

ROCKWALL COMMUNITY PLAYHOUSE  
609 E RUSK ST  
ROCKWALL, TX 75087

REEVES ASHLEY ELLEN & DANIEL GARRET  
609 EAST WASHINGTON STREET  
ROCKWALL, TX 75087

RESIDENT  
610 E KAUFMAN  
ROCKWALL, TX 75087

SMITH GREGORY P & MARILYN  
610 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
702 E INTERURBAN ST  
ROCKWALL, TX 75087

RESIDENT  
706 INTERURBAN ST  
ROCKWALL, TX 75087

RESIDENT  
801 E WASHINGTON  
ROCKWALL, TX 75087

BRYANT RANDALL E  
811 S MAGNOLIA ST  
ROCKPORT, TX 78382

COX GERALD GLEN AND ROSALBA CARRASCO  
815 T L Townsend Dr Ste 100  
Rockwall, TX 75087

SOLID ROCK HOLDINGS LLC  
904 CAMPTON CT  
ROCKWALL, TX 75032

HENISEY CHUCK  
PO BOX 797501  
DALLAS, TX 75379

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2025-078: Zoning Change from SF-7 to PD

Hold a public hearing to discuss and consider a request by Johnathan Brown, AIA of JHP Architecture/Urban Design on behalf of Darlene Singleton of the Rockwall Community Playhouse for the approval of a Zoning Change from Single-Family 7 (SF-7) District to a Planned Development District for Single-Family 7 (SF-7) District land uses for a 1.0061-acre tract of land identified as a portion of Lot 120D and all of Lots 120C & 120G of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 609 E. Rusk Street and 606, 610, & 612 Kaufman Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 13 2026 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 20, 2026 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 20, 2026 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

### Case No. Z2025-078: Zoning Change from SF-7 to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]  
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



**Rockwall Planning & Zoning Department**  
City Hall  
385 S. Goliad Street  
Rockwall, Texas 75087

**Subject: Rockwall Community Playhouse Request for Planned Development (PD) Rezoning**

Dear Chairman and Members of the Planning and Zoning Commission,

We are writing to formally request your favorable consideration and recommendation for the rezoning of the property located at the northwest corner of E. Rusk Street and N. Clark Street in Rockwall, Texas. The request is specifically for a Planned Development (PD) zoning designation.

This rezoning is essential to facilitate the proposed redevelopment of the existing site into a state-of-the-art community theater facility. The project is situated on approximately 0.805 acres of land and is designed to continue to significantly enhance the cultural and artistic life of Rockwall.

**Project Overview and Scope**

The proposed redevelopment involves the construction of a new theater facility totaling 11,700 square feet (SF) of new space, consisting of two primary structures:

1. Main Theater Building:
  - This building will be approximately 9,700 SF and will house the main performance space.
  - It will feature a new 160-seat theater, designed to be the centerpiece of the facility.
  - The remainder of the space includes essential support functions: a reception area, administrative offices, green rooms, specialized prop and costume storage, and a workshop.
  - The structure is planned as a single story, with a small technical room situated at the back of the theater.
  
2. Detached Practice Hall:
  - This secondary structure will be approximately 2,000 SF.
  - The practice hall will primarily consist of dedicated practice stage space, providing an invaluable resource for rehearsals and educational programming.



## Architectural and Site Design Intent

The design strategy is focused on creating a vibrant, engaging, and context-sensitive development that integrates with the surrounding area:

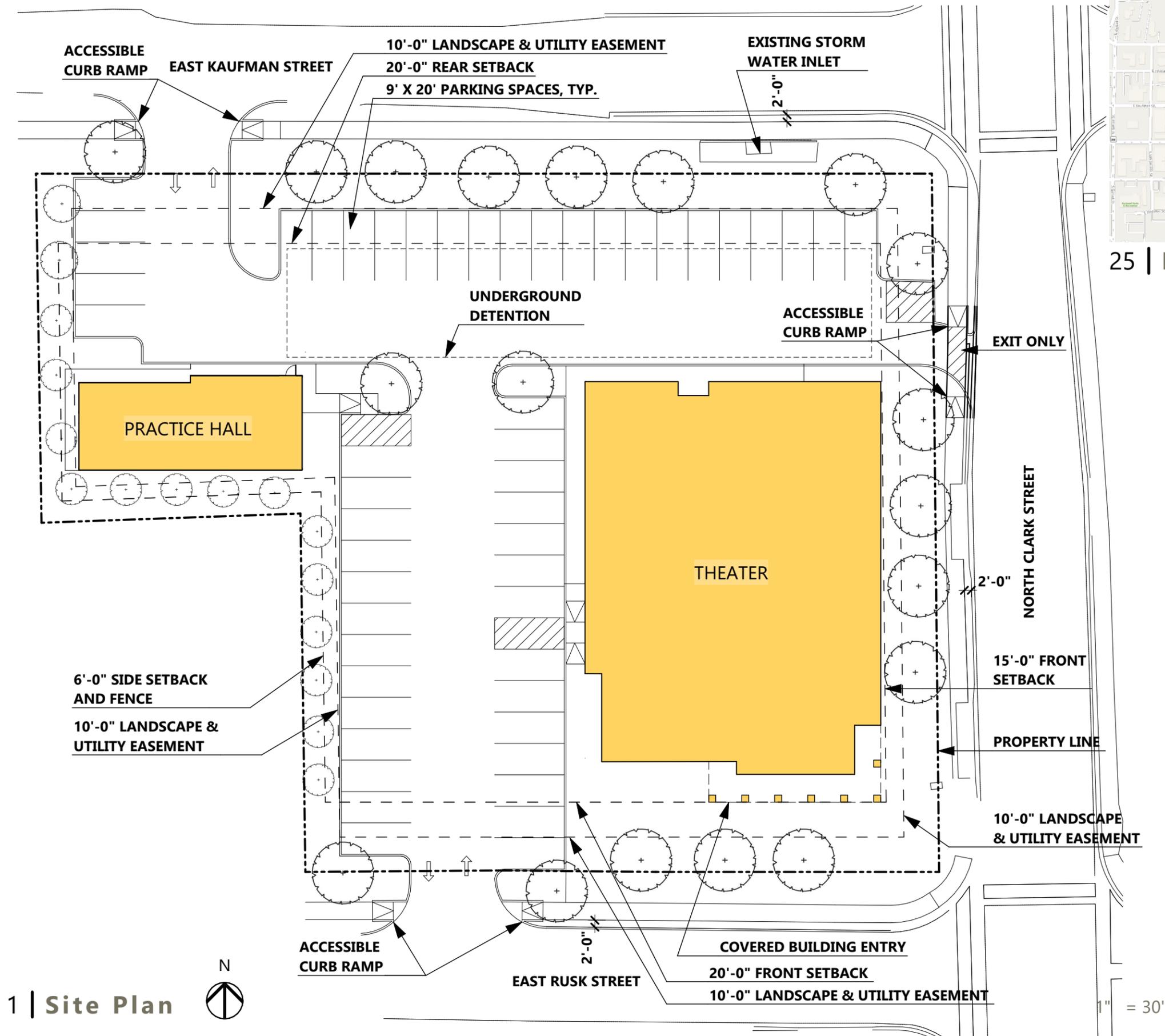
- **E. Rusk Street Engagement:** The main theater building is intentionally positioned to hold the primary corner of the site (E. Rusk St and N. Clark St). The design prominently engages E. Rusk Street to the south by featuring the theater's main entrance and a welcoming covered porch, creating a pedestrian-friendly and inviting public face for the facility.
- **E. Kaufman Street Address:** The detached practice hall will address the north side of the site, with its front door facing E. Kaufman Street. This dual-frontage design helps distribute activity and ensures a thoughtful presence on both street frontages.
- **Internalized Parking:** The site plan has been carefully developed to internalize as much of the required parking as possible. This design approach minimizes the visual impact of parking from the primary streets, reinforcing the traditional walk-able aesthetic in this Historic Neighborhood.

We believe this proposal represents a thoughtful, high-value investment in Rockwall's cultural future. We respectfully ask for your recommendation of approval for the requested Planned Development zoning to allow this important project to move forward.

We look forward to presenting the plan to the Commission and are available to answer any questions you may have.

A handwritten signature in black ink, appearing to read 'J.B.' or 'JB', with a long horizontal stroke extending to the right.

Jonathan Brown  
Principal



1 | Site Plan



25 | Location Map

SITE PLAN NOTES AND LEGEND	
---	SETBACK LINE
----	PROPERTY LINE
PROJECT DATA	
SITE:	0.805 AC (35,065.8 SF)
CURRENT LAND USE:	84 SEAT COMMUNITY THEATER
PROPOSED LAND USE:	160 SEAT COMMUNITY THEATER
THEATER:	9,700 SF
PRACTICE HALL:	2,000 SF
TOTAL:	11,700 SF
PARKING PROVIDED:	52 SPACES



**Rockwall Community Playhouse**

Rockwall, Texas

SITE PLAN

Copyright © JHP 2026. Not for  
Regulatory Approval, Permit or  
Construction. Carl M. Malcolm, Registered  
Architect of State of Texas, Registration  
No. 23379.

#2019009 #Last saved by





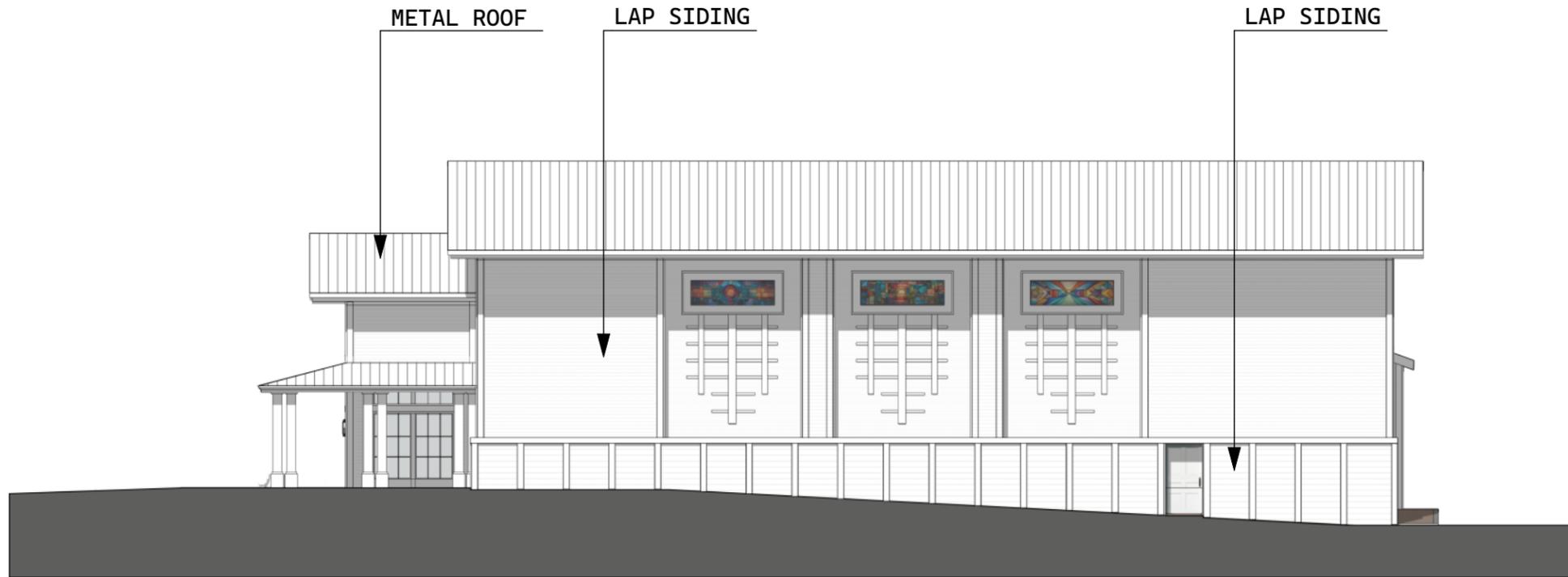
## Rockwall Community Playhouse

Rockwall, Texas

### PLAYHOUSE ELEVATIONS

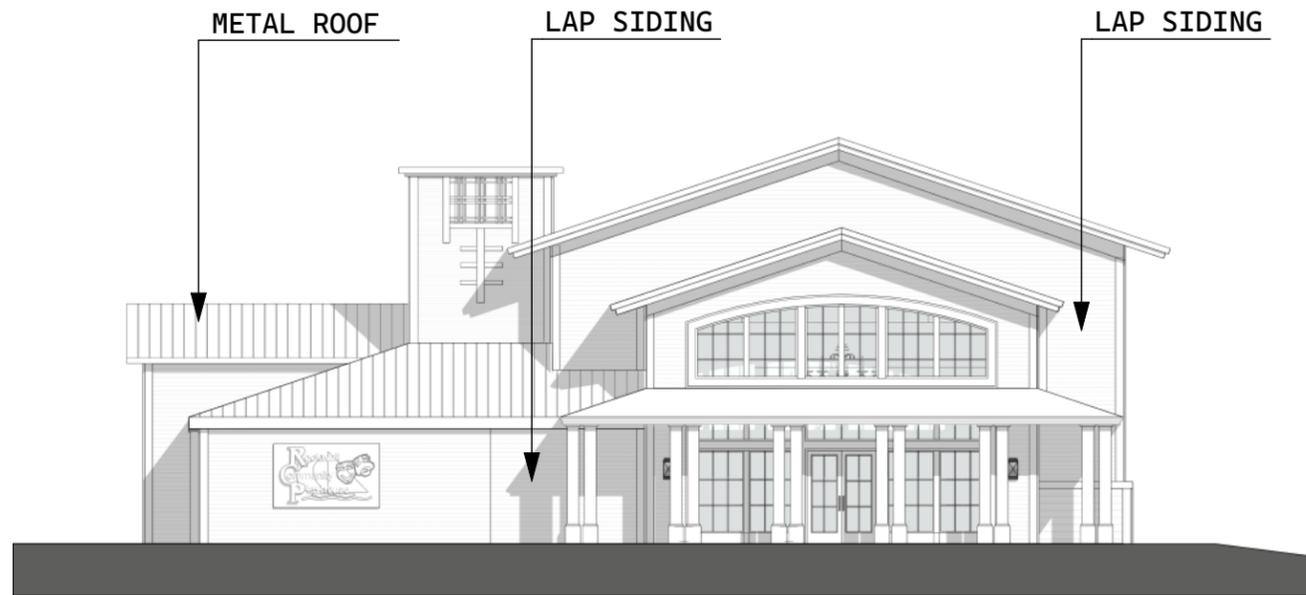
Copyright © JHP 2025. Not for  
Regulatory Approval, Permit or  
Construction; Carl M. Malcolm, Registered  
Architect of State of Texas, Registration  
No. 23379.

#2019009 thaole



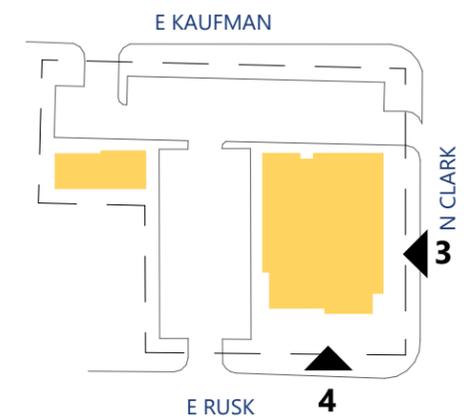
### 3 THEATER - EAST ELEVATION

Scale: 1/16" = 1'-0"



### 4 THEATER - SOUTH ELEVATION

Scale: 1/16" = 1'-0"



2

### Key Plan NOT TO SCALE

3

4



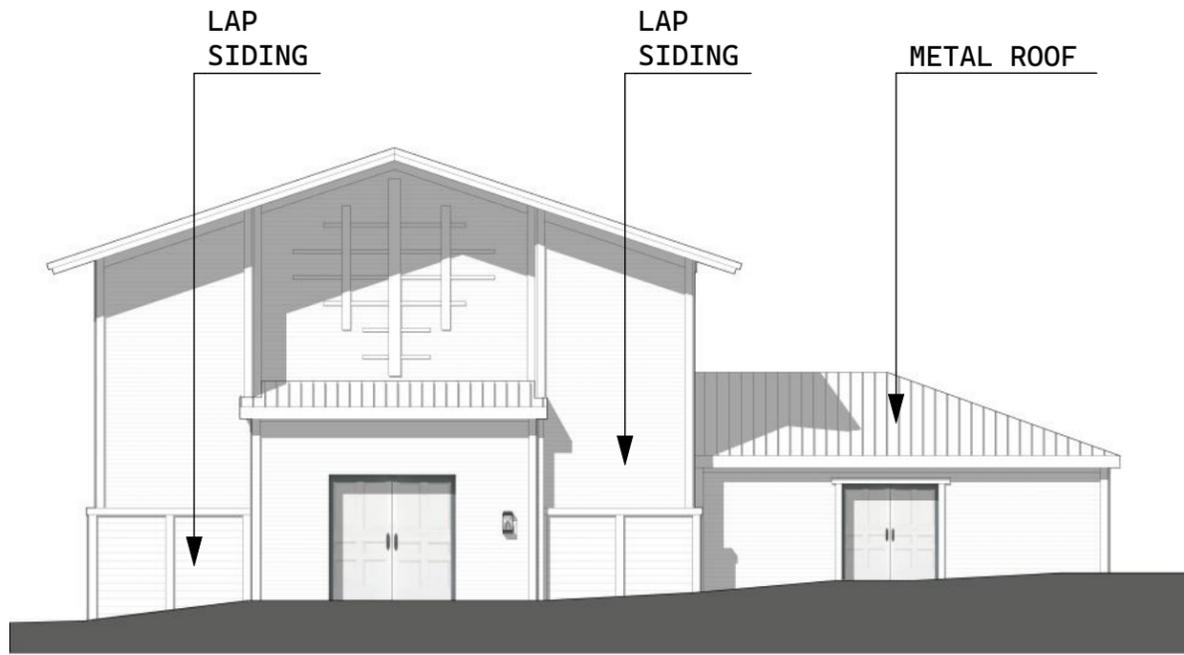
## Rockwall Community Playhouse

Rockwall, Texas

### PLAYHOUSE ELEVATIONS

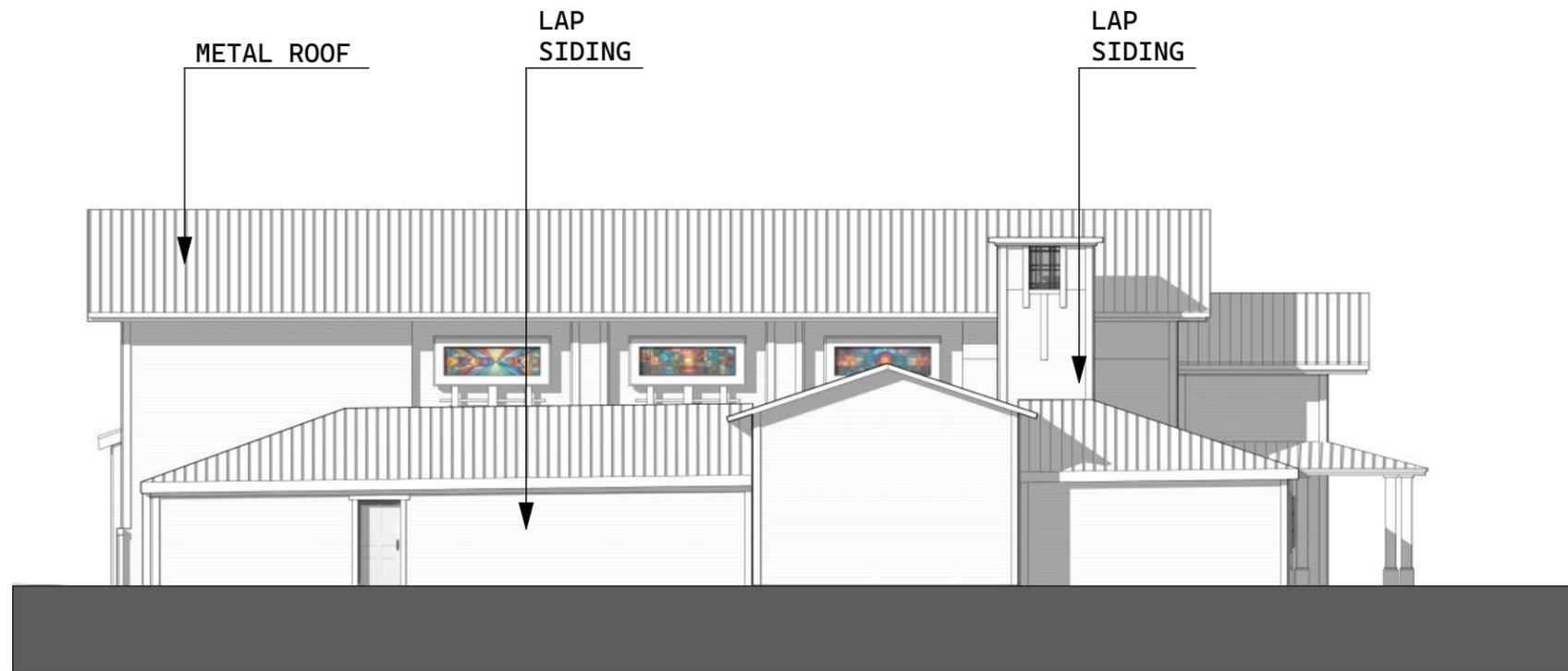
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#2019009 thaole



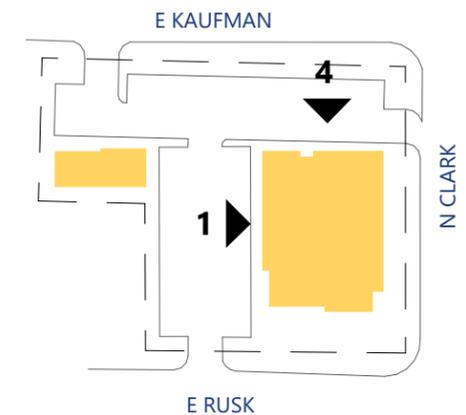
**4** THEATER - NORTH ELEVATION

Scale: 1/16" = 1'-0"



**1** THEATER - WEST ELEVATION

Scale: 1/16" = 1'-0"



**3**

Key Plan  
NOT TO SCALE



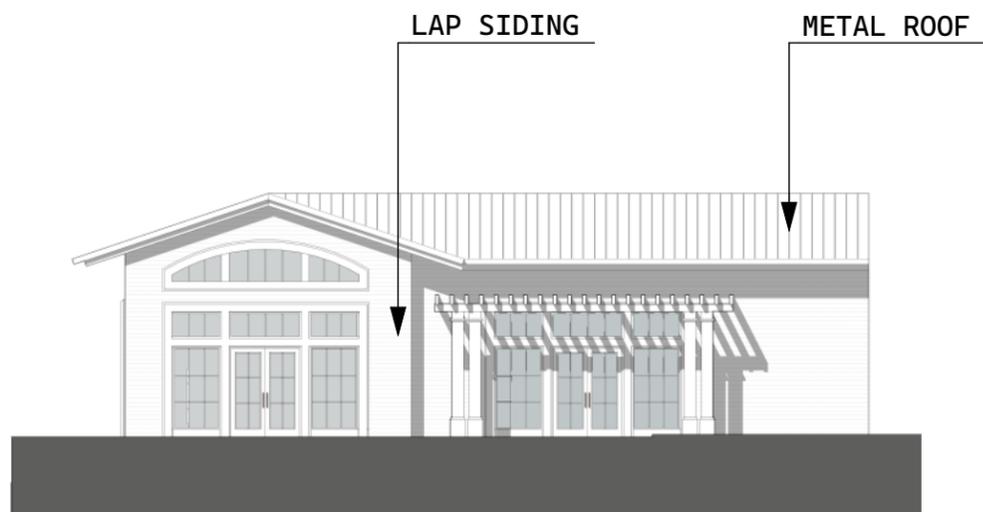
**Rockwall Community Playhouse**

Rockwall, Texas

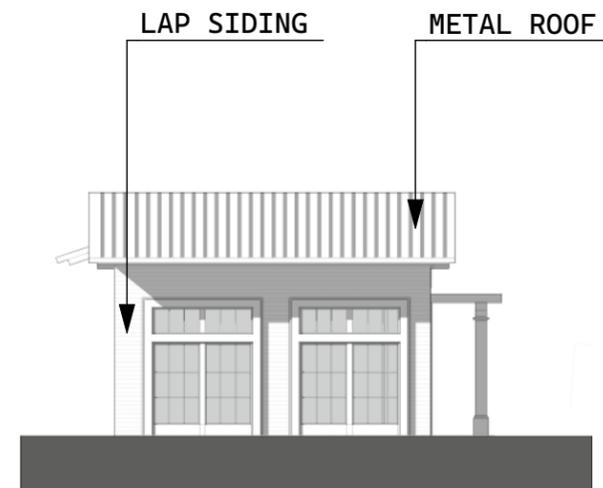
**PRACTICE HALL ELEVATIONS**

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Regulatory Approval, Permit or  
Construction; Carl M. Malcolm, Registered  
Architect of State of Texas, Registration  
No. 23379.

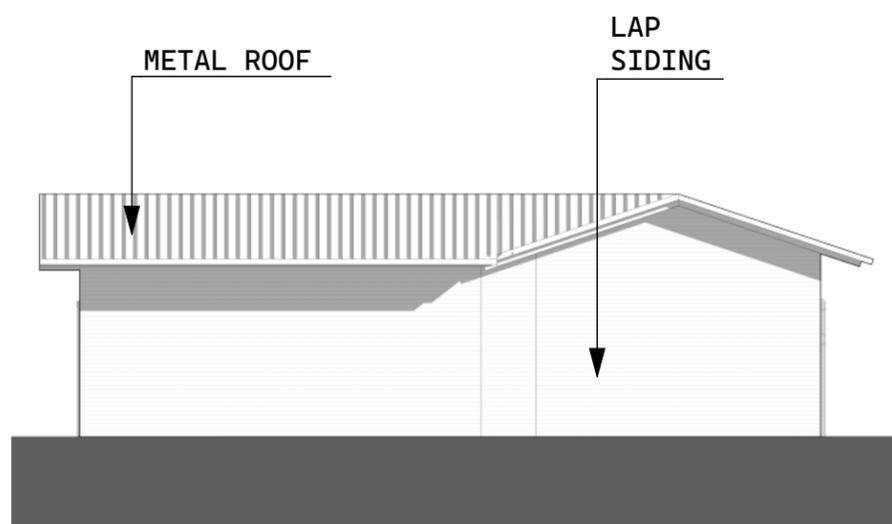
#2019009 thaole



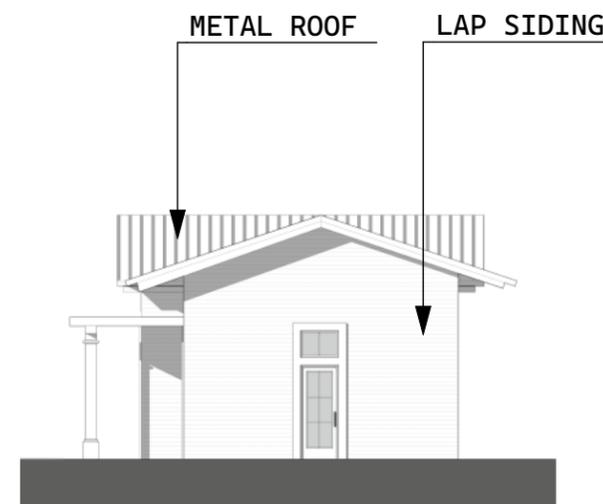
**2** | PRACTICE HALL - NORTH ELEVATION  
Scale: 1/16" = 1'-0"



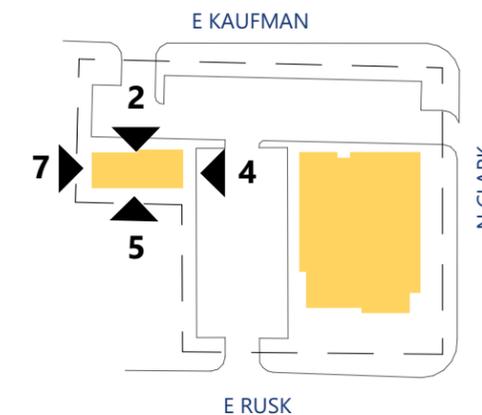
**4** | PRACTICE HALL - EAST ELEVATION  
Scale: 1/16" = 1'-0"



**5** | PRACTICE HALL SOUTH ELEVATION  
Scale: 1/16" = 1'-0"



**7** | PRACTICE HALL - WEST ELEVATION  
Scale: 1/16" = 1'-0"



**1** | Key Plan  
NOT TO SCALE



Playhouse  
View from East Rusk Street toward North East



Playhouse  
View from East Rusk Street toward North West



Playhouse  
View from North Clark Street toward North West



Playhouse  
View from East Kaufman Street toward South East



Practice Hall  
View from East Kaufman Street toward South East



Pratcice Hall  
View from East Kaufman Street toward main entrance



**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

# PERMITTED LAND USES IN A SINGLE-FAMILY 7 (SF-7) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a>	SINGLE FAMILY 7 (SF-7) DISTRICT
<b>AGRICULTURAL AND ANIMAL RELATED LAND USES</b>	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	<a href="#">(1)</a>		P
Community Garden	<a href="#">(11)</a>	<a href="#">(7)</a>	S
Urban Farm	<a href="#">(12)</a>	<a href="#">(8)</a>	S
<b>RESIDENTIAL AND LODGING LAND USES</b>	2.02(B)	2.03(B)	
Residential Accessory Building or Structure	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Bed and Breakfast	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Residential Garage	<a href="#">(7)</a>	<a href="#">(4) &amp; (5)</a>	A
Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit	<a href="#">(8)</a>	<a href="#">(6)</a>	S
Home Occupation	<a href="#">(9)</a>	<a href="#">(7)</a>	P
Portable Building	<a href="#">(15)</a>	<a href="#">(10)</a>	P
Residential Infill in an Established Subdivision	<a href="#">(16)</a>	<a href="#">(11)</a>	S
Short-Term Rental ( <i>Owner-Occupied, Single-Family Home, Townhome, or Duplex</i> )	<a href="#">(17)</a>	<a href="#">(12)</a>	P
Short-Term Rental ( <i>Non-Owner-Occupied, Single-Family Home, Townhome, or Duplex</i> )	<a href="#">(17)</a>	<a href="#">(13)</a>	P
Short-Term Rental ( <i>Apartment or Condominium</i> )	<a href="#">(17)</a>	<a href="#">(14)</a>	P
Single-Family Detached Structure	<a href="#">(19)</a>	<a href="#">(16)</a>	P
Private Swimming Pool	<a href="#">(21)</a>		A
Private Sports Court with Standalone or Dedicated Lighting	<a href="#">(22)</a>	<a href="#">(18)</a>	S
<b>INSTITUTIONAL AND COMMUNITY SERVICE LAND USES</b>	2.02(C)	2.03(C)	
Church/House of Worship	<a href="#">(4)</a>	<a href="#">(2)</a>	S
Daycare with Seven (7) or More Children	<a href="#">(9)</a>	<a href="#">(4)</a>	S
Group or Community Home	<a href="#">(11)</a>	<a href="#">(5)</a>	P
Public or Private Primary School	<a href="#">(21)</a>	<a href="#">(7)</a>	S
Public or Private Secondary School	<a href="#">(22)</a>	<a href="#">(8)</a>	S
Temporary Education Building for a Public or Private School	<a href="#">(23)</a>	<a href="#">(9)</a>	S
<b>RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES</b>	2.02(E)	2.03(E)	
Public or Private Community or Recreation Club as an Accessory Use	<a href="#">(4)</a>		S
Private Country Club	<a href="#">(5)</a>		S
Temporary Fundraising Events by Non-Profit	<a href="#">(7)</a>	<a href="#">(4)</a>	P
Public Park or Playground	<a href="#">(12)</a>		P
Tennis Courts ( <i>i.e. Not Accessory to a Public or Private Country Club</i> )	<a href="#">(14)</a>		S
<b>RETAIL AND PERSONAL SERVICES LAND USES</b>	2.02(F)	2.03(F)	
Temporary Real Estate Sales Office	<a href="#">(27)</a>		P
<b>COMMERCIAL AND BUSINESS SERVICES LAND USES</b>	2.02(G)	2.03(G)	
Temporary On-Site Construction Office	<a href="#">(18)</a>	<a href="#">(6)</a>	P
<b>INDUSTRIAL AND MANUFACTURING LAND USES</b>	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Mining and Extraction of Sand, Gravel, Oil and/or Other Materials	<a href="#">(12)</a>	<a href="#">(5)</a>	S
<b>UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES</b>	2.02(K)	2.03(K)	

**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

## PERMITTED LAND USES IN A SINGLE-FAMILY 7 (SF-7) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a>	SINGLE FAMILY 7 (SF-7) DISTRICT
Antenna for a Residential Property	<a href="#">(2)</a>	<a href="#">(1)</a>	A
Antenna for an Amateur Radio	<a href="#">(3)</a>	<a href="#">(2)</a>	A
Antenna Dish	<a href="#">(4)</a>	<a href="#">(3)</a>	A
Utilities ( <i>Non-Municipally Owned or Controlled</i> ), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	<a href="#">(10)</a>		S
Municipally Owned or Controlled Facilities, Utilities and Uses ( <i>Includes Utilities with a Franchise Agreement with the City of Rockwall</i> )	<a href="#">(11)</a>		P
Private Streets	<a href="#">(12)</a>		S
Railroad Yard or Shop	<a href="#">(14)</a>		S
Satellite Dish	<a href="#">(16)</a>		A
Solar Energy Collector Panels and Systems	<a href="#">(17)</a>	<a href="#">(7)</a>	A
Utilities Holding a Franchise from the City of Rockwall	<a href="#">(21)</a>		S
Utility Installation Other than Listed	<a href="#">(22)</a>		S
Utility/Transmission Lines	<a href="#">(23)</a>		S

# 05 FUTURE LAND USE PLAN

## 01 LAND USE PLAN DESIGNATIONS

### 01.01 RESIDENTIAL ● ● ●

#### ● LOW DENSITY RESIDENTIAL (LDR)

The *Low Density Residential* land use category consists of residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (see Chapter 8, *Residential Developments, of this Comprehensive Plan*).

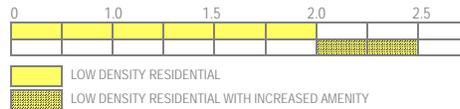
##### DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban, Estate and Rural Residential (i.e. *Single-Family Detached Homes*)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: All Single-Family Estate (SFE) Districts (i.e. SFE 1.5, 2.0 & 4.0), certain Planned Development (PD) Districts and the Single-Family One (SF-1) District.

##### EXISTING LAND USE EXAMPLES

- 1 Breezy Hill Subdivision
- 2 Stone Creek Subdivision
- 3 Oaks of Buffalo Way Subdivision

##### RESIDENTIAL DENSITY CHART



#### ● MEDIUM DENSITY RESIDENTIAL (MDR)

The *Medium Density Residential* land use category consists of residential subdivisions that are greater than two and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses (see Chapter 8, *Residential Developments, of this Comprehensive Plan*).

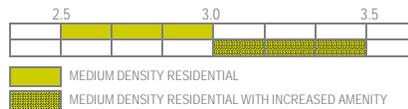
##### DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban Residential (i.e. *Single-Family Detached Homes*)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Certain Planned Development (PD) Districts and the Single-Family 16 (SF-16) District

##### EXISTING LAND USE EXAMPLES

- 1 Caruth Lakes Subdivision
- 2 Lago Vista Subdivision
- 3 Park Place Subdivision

##### RESIDENTIAL DENSITY CHART



#### ● HIGH DENSITY RESIDENTIAL (HDR)

The *High Density Residential* land use category may consist of single-family residential homes, duplexes, townhomes, apartments, lofts, condominiums or other forms of housing that exceed three and one-half (3½) units per gross acre. These developments should contain increased amenities and open space, and incorporate pedestrian connectivity to adjacent land uses.

##### DESIGNATION CHARACTERISTICS

- 1 Primary Land Uses: Suburban and Urban Residential (i.e. *Single-Family Detached, Single-Family Attached, Zero Lot Line Homes, Townhomes, Duplexes, Condominiums and Multi-Family Apartments*)
- 2 Secondary Land Uses: Amenities, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Certain Planned Development (PD) Districts, Single-Family 10 (SF-10) District, Single-Family 8.4 (SF-8.4) District, Single-Family 7 (SF-7) District, Zero Lot Line (ZL-5) District, Two Family (2F) District, and the Multi-Family 14 (MF-14) District.

##### EXISTING LAND USE EXAMPLES

- 1 Turtle Cove Subdivision
- 2 Sixteen50 @ Lake Ray Hubbard Apartments
- 3 Mission Rockwall Apartment Complex

##### RESIDENTIAL DENSITY CHART



# 02 DOWNTOWN DISTRICT

## DISTRICT DESCRIPTION

The *Downtown District* is the cultural heart of the community and embodies the small town atmosphere that is characteristic of the City of Rockwall. Being the original town area, this district is significantly developed and contains the City's oldest residential and commercial buildings. This district also includes the City's Old Town Rockwall (OTR) Historic District, which is composed of housing that dates back to the late 1800's. The *North Goliad Corridor* -- also identified by its zoning classification (i.e. PD-50) -- is a unique *Live/Work* corridor that supports a range of small boutiques (with a SUP) and offices, and represents a successful adaptive reuse effort by the City. In the future, the City will need to balance the attractiveness of redevelopment in the Downtown area with the small town atmosphere that makes Rockwall unique to its residents.

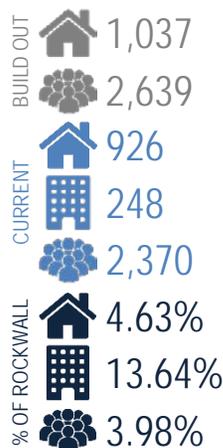
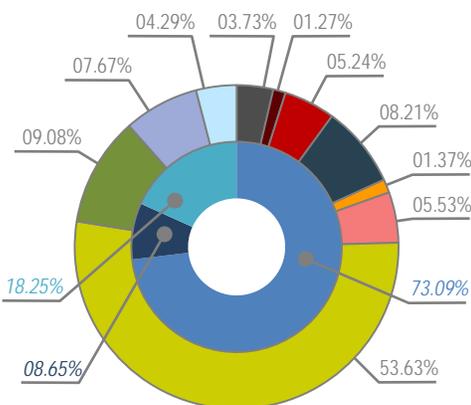
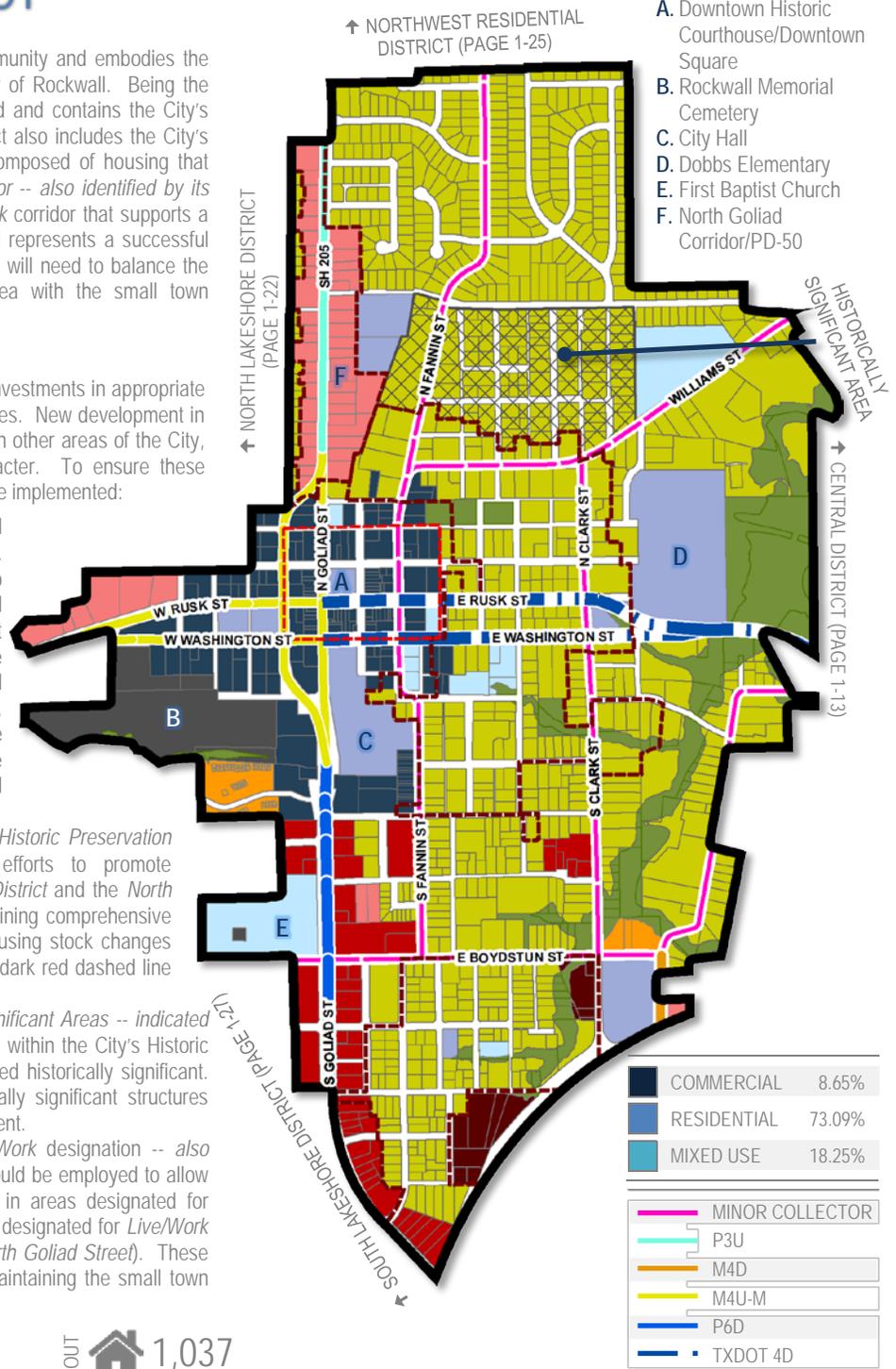
## DISTRICT STRATEGIES

The *Downtown District* will continue to prosper through investments in appropriate infill development and adaptive reuse of existing structures. New development in this area should be held to a higher level of scrutiny than other areas of the City, to ensure that the district retains its small-town character. To ensure these objectives are achieved, the following strategies should be implemented:

- 1 Downtown Square.** The *Downtown Square* should be preserved as a historical mixed-use area. Adaptive reuse strategies should be employed to protect and preserve the historic architecture and significance in the district, and redevelopment should be discouraged. In cases where redevelopment is appropriate, architecture and design standards that take into account the form, function and time-period of the existing of the downtown square should be implemented. The downtown square is indicated by the red dashed line (---).
- 2 Historic District and North Goliad Corridor.** The *Historic Preservation Advisory Board (HPAB)* should continue its efforts to promote preservation and appropriate infill in the *Historic District* and the *North Goliad Corridor* (i.e. PD-50). This includes maintaining comprehensive and accurate records of how this area and its housing stock changes over time. The Historic District is indicated by the dark red dashed line on the district map (---).
- 3 Historically Significant Areas.** The *Historically Significant Areas* -- indicated in the crosshatched area --- are areas that are not within the City's Historic District, but contain housing stock that is considered historically significant. This area should look to preserve these historically significant structures while continuing to allow appropriate infill development.
- 4 Live/Work.** The flexibility provided by the *Live/Work* designation -- also allowed in the *Downtown (DT)* zoning district -- should be employed to allow for adaptive reuse of the existing housing stock in areas designated for Downtown (DT) District land uses and in the areas designated for *Live/Work* land uses (i.e. adjacent to *W. Rusk Street* and *North Goliad Street*). These districts are important to allowing change while maintaining the small town atmosphere of the Downtown area.

## POINTS OF REFERENCE

- A. Downtown Historic Courthouse/Downtown Square
- B. Rockwall Memorial Cemetery
- C. City Hall
- D. Dobbs Elementary
- E. First Baptist Church
- F. North Goliad Corridor/PD-50



CEMETERY (CEM)	17.11-ACRES
COMMERCIAL/INDUSTRIAL (CI)	5.82-ACRES
COMMERCIAL/RETAIL (CR)	24.06-ACRES
DOWNTOWN (DT)	37.67-ACRES
HIGH DENSITY RESIDENTIAL (HDR)	6.27-ACRES
LIVE/WORK (LW)	25.38-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	246.20-ACRES
PARKS AND OPEN SPACE (OS)	41.69-ACRES
PUBLIC (P)	35.21-ACRES
QUASI-PUBLIC (QP)	19.70-ACRES

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A SINGLE FAMILY 7 (SF-7) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD - XX) FOR SINGLE- FAMILY 7 (SF-7) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 1.0061-ACRE TRACT OF LAND IDENTIFIED AS PORTION OF LOT 120D AND ALL OF LOTS 120C & 120G OF THE B. F. BOYDSTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Jonathan Brown on behalf of Darlene Singleton, requesting the approval of a zoning change from a Single Family 7 (SF-7) District to a Planned Development District for Single Family 7 (SF-7) District land uses being a 1.0061-acre tract of land identified as a portion of Lot 120D and all of Lots 120C & 120G of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

**SECTION 4.** That development of the *Subject Property* shall generally be in accordance with the *PD Development Standards*, described in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

**SECTION 5.** That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 20-02*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [*Ordinance No. 20-02*] of any provision of the *City Code*, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [*Ordinance No. 20-02*] (*including references to the Unified Development Code*), and references to overlay districts, in this ordinance or any of the *Exhibits* hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 2<sup>nd</sup> DAY OF FEBRUARY, 2026.**

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Tim McCallum, *Mayor*

**ATTEST:**

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Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

---

Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: January 20, 2026

2<sup>nd</sup> Reading: February 2, 2026

DRAFT  
ORDINANCE  
07.20.2026

**EXHIBIT 'A':**  
*Legal Description and Survey*

**BEING** 1.04 acres of land situated in Abstract 14, B.F. Boydston Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

**BEGINNING** in the Northwest corner of North Clark Street and East Rusk Street, RCAD#14333, (NAD83 Texas State Plane GPS Coordinate (Grid): E 2,596,018.343, N 7,027,794.521 Feet);

**THENCE** South 88°46'33" West, along the Northern Right of Way of East Rusk Street, a distance of 189.985 feet for a corner;

**THENCE** North 01°14'22" West, a distance of 105.104 feet for a corner;

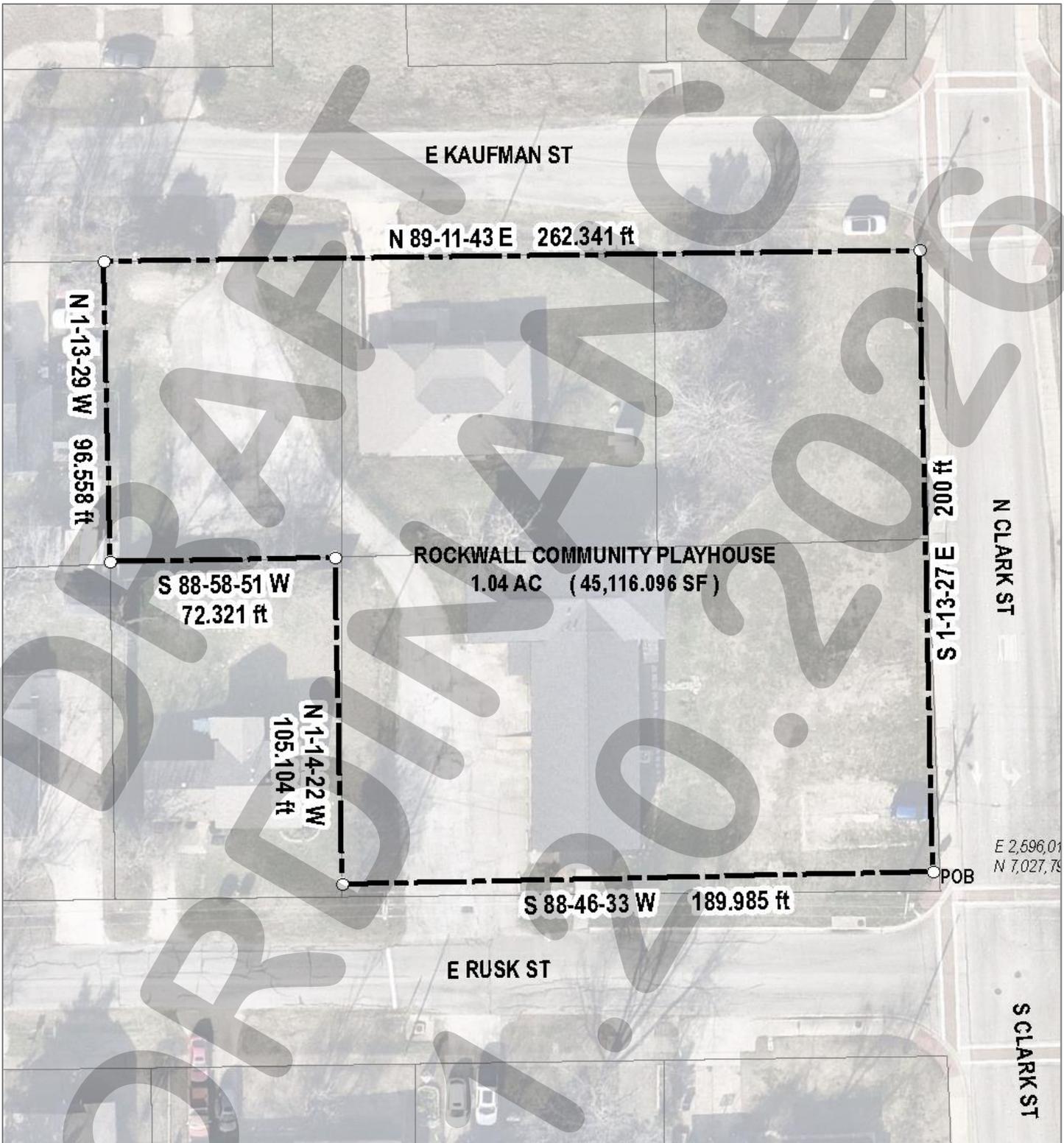
**THENCE** South 88°58'51" West, a distance of 72.321 feet for a corner;

**THENCE** North 01°13'29" West, a distance of 96.558 feet for a corner;

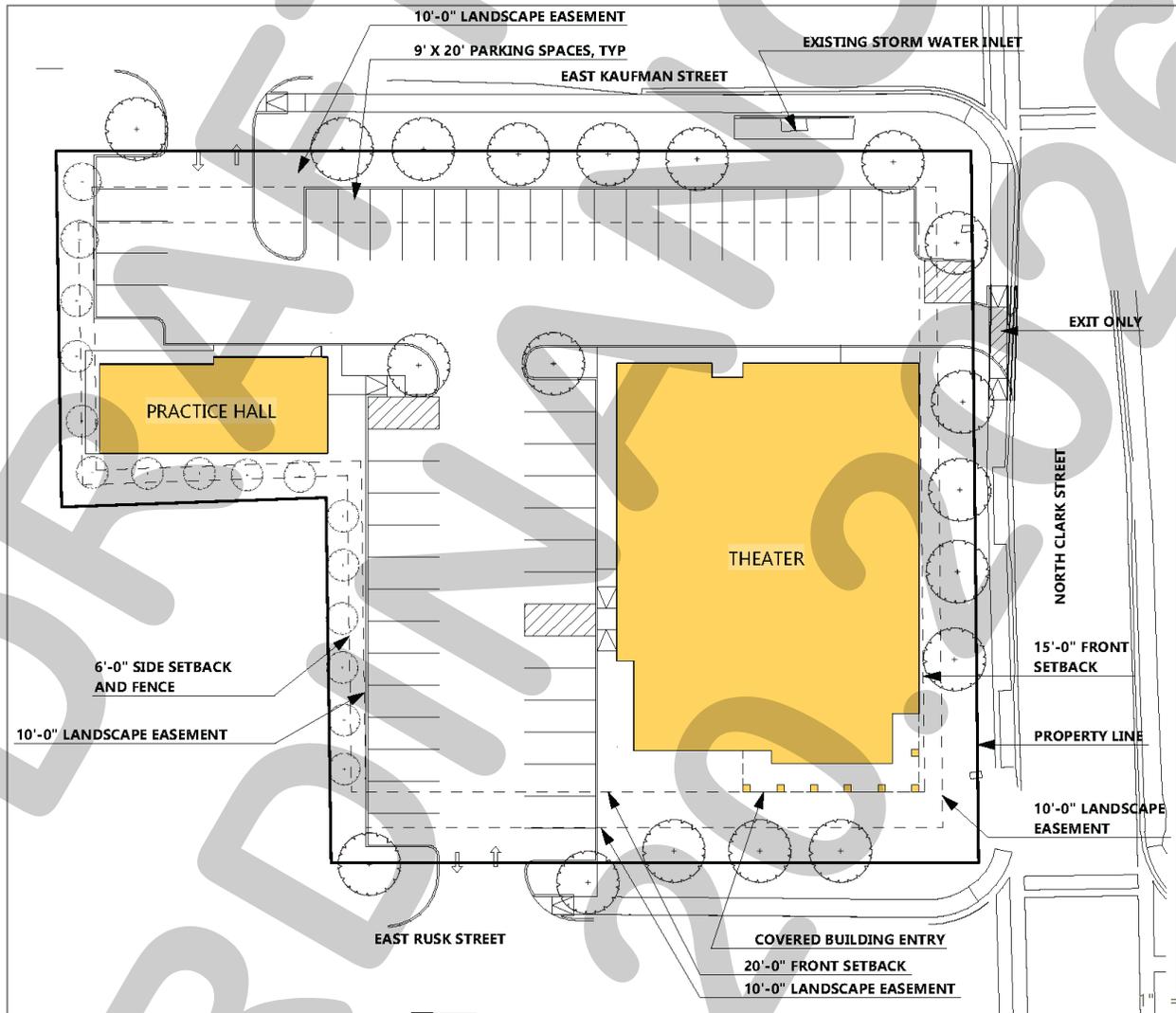
**THENCE** North 89°11'43" East, along the Southern Right of Way of East Kaufman Street, a distance of 262.341 feet for a corner;

**THENCE** South 01°13'27" East, along the Western Right of Way of North Clark Street, a distance of 200.00 feet to the **POINT OF BEGINNING AND CONTAINING** 1.04 acres of land (45,116.096 square feet) more or less.

**EXHIBIT 'A':**  
Legal Description and Survey



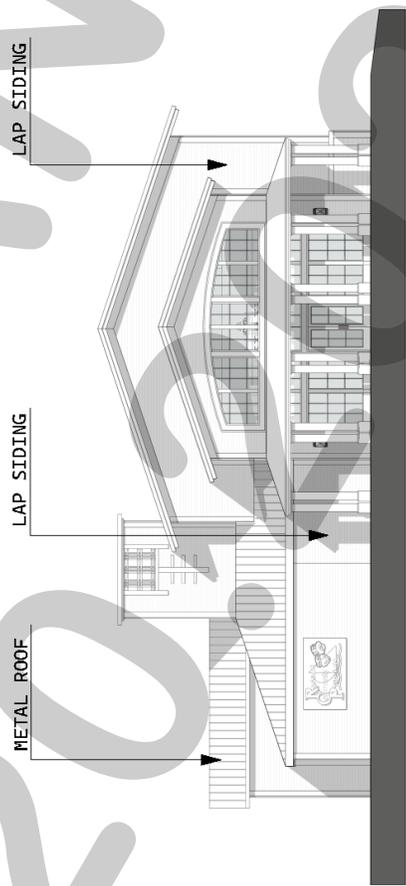
**EXHIBIT 'B':**  
Concept Plan



**EXHIBIT 'C':**  
Conceptual Building Elevations

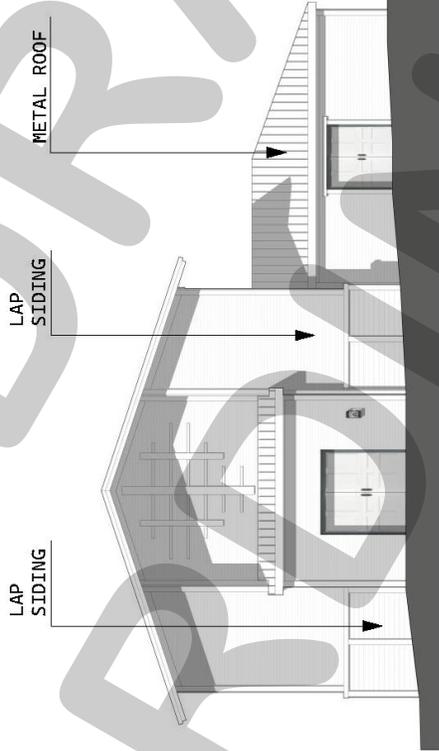


**3** THEATER - EAST ELEVATION  
Scale: 1/16" = 1'-0"

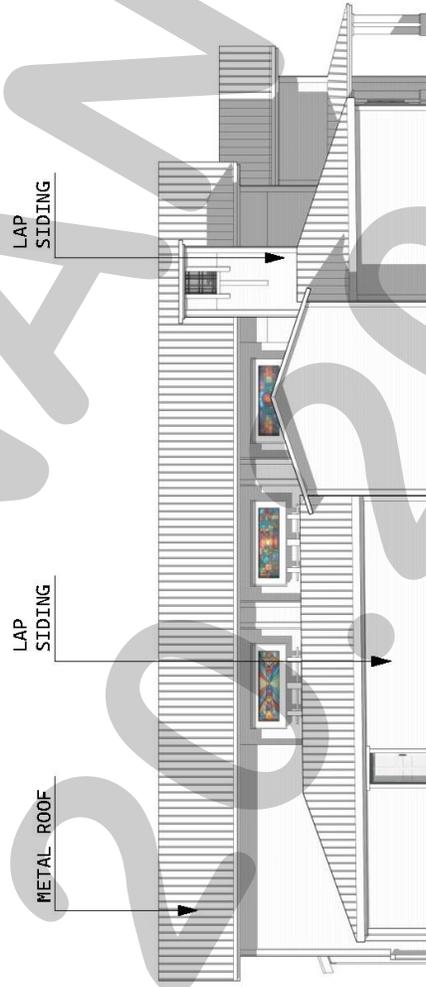


**4** THEATER - SOUTH ELEVATION  
Scale: 1/16" = 1'-0"

**EXHIBIT 'C':**  
Conceptual Building Elevations

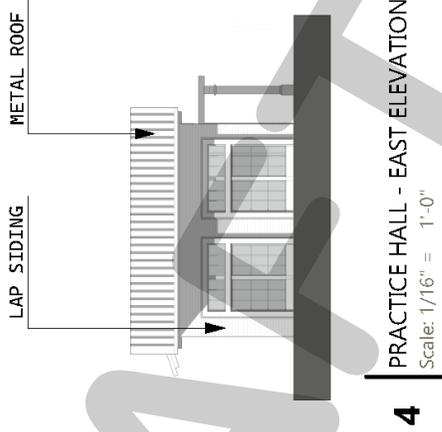


**4** THEATER - NORTH ELEVATION  
Scale: 1/16" = 1'-0"

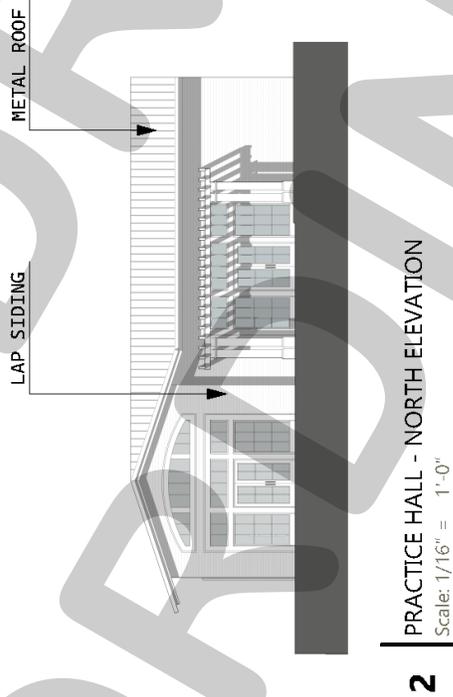


**1** THEATER - WEST ELEVATION  
Scale: 1/16" = 1'-0"

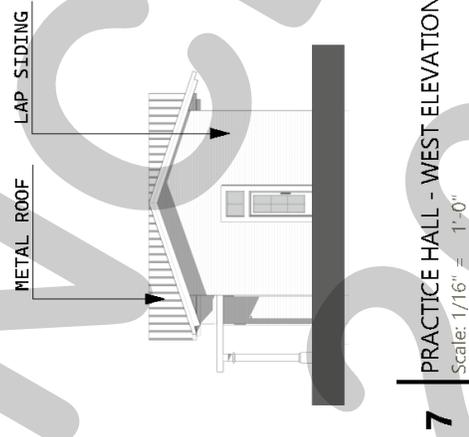
**EXHIBIT 'C':**  
Conceptual Building Elevations



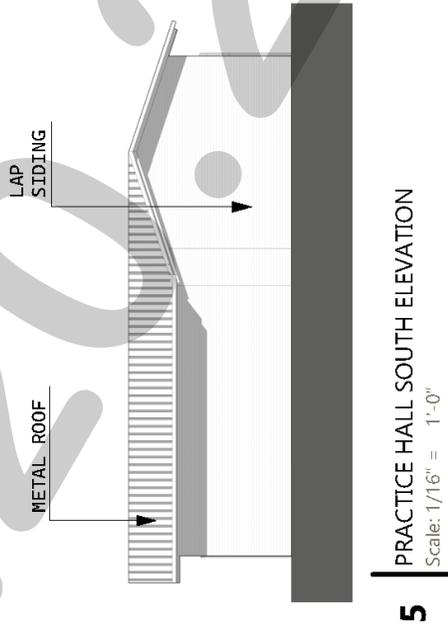
**4** PRACTICE HALL - EAST ELEVATION  
Scale: 1/16" = 1'-0"



**2** PRACTICE HALL - NORTH ELEVATION  
Scale: 1/16" = 1'-0"



**7** PRACTICE HALL - WEST ELEVATION  
Scale: 1/16" = 1'-0"



**5** PRACTICE HALL SOUTH ELEVATION  
Scale: 1/16" = 1'-0"

**EXHIBIT 'D':**  
PD Development Standards

**Density and Development Standards.**

(1) Permitted Uses. Unless specifically provided by this Planned Development District, only those land uses permitted within the Single Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future, are allowed on the *Subject Property*; however, the following additional land uses shall be permitted on the *Subject Property*:

The following land uses shall be permitted *by-right* on the Subject Property:

Theater<sup>1</sup>

NOTE:

<sup>1</sup>: Theater. A *Theater*, shall be defined as a *Community Theater*, whereas a *Community Theater* is a locally organized performing arts organization that produces theatrical productions primarily for the enjoyment, participation, and cultural enrichment of the local community.

(2) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 7 (SF-7) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. All development on the *Subject Property* shall conform to the standards depicted in *Table 1*, which are as follows:

TABLE 1: DENISTY AND DIMENSIONAL REQUIREMENTS

ORDINANCE PROVISIONS	ZONING DISTRICT STANDARDS
MINIMUM LOT AREA	7,000 SF
MINIMUM LOT FRONTAGE	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK	X=20' E. KAUFMAN STREET X=15' N. CLARK STREET X=20' E. RUSK STREET
MINIMUM REAR YARD SETBACK	10'
MINIMUM SIDE YARD SETBACK	10'
SIDE YARD ADJACENT TO RESIDENTIAL	10'
MAXIMUM BUILDING HEIGHT	35'
MAX BUILDING/LOT COVERAGE	45%
MINIMUM NUMBER OF PARKING SPACES	1 PER 3.20 SEATS

(3) Residential Adjacency. The *Subject Property* shall be required to provide and maintain a ten (10) foot landscape buffer adjacent to any residentially zoned or used property. The buffer shall include a minimum of a six (6) foot or a maximum of eight (8) foot standard cedar fence, canopy trees on 20-foot centers, and a row of evergreen shrubs along the entire adjacency.

(4) Landscape Standards. Landscaping shall be reviewed and approved with the Site Plan. All *Canopy/Shade Trees* planted within this Planned Development District shall be a minimum of four (4) caliper inches in size, all *Accent/Ornamental/Under-Story Trees* shall be a minimum

**EXHIBIT 'D':**  
*PD Development Standards*

of four (4) feet in total height, all *Shrubs* shall be a minimum of five (5) gallons at the time of planting.

- (1) *Landscape Buffer (E. Kaufman Street)*. A minimum of a ten (10) foot landscape buffer shall be provided along E. Kaufman Street, and shall incorporate a row of evergreen shrubs along the entire frontage.
- (2) *Landscape Buffer (N. Clark Street)*. A minimum of a ten (10) foot landscape buffer shall be provided along N. Clark Street, and shall incorporate one (1) accent tree per 50-feet of linear frontage and a row of evergreen shrubs along the entire frontage.
- (3) *Landscape Buffer (E. Rusk Street)*. A minimum of a ten (10) foot landscape buffer shall be provided along N. Clark Street, and shall incorporate one (1) canopy tree and one (1) accent tree per 50-feet of linear frontage, and a row of evergreen shrubs along the entire frontage.



# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Mayor and City Council

**DATE:** January 20, 2026

**APPLICANT:** James Martin; *Gardner Land Holdings LLC*

**CASE NUMBER:** Z2025-079; *Zoning Change from an Agricultural (AG) District to a Planned Development District*

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### SUMMARY

Hold a public hearing to discuss and consider a request by James Martin of Gardner Land Holdings LLC on behalf of Bart Gardner of Gardner Land Holdings, LLC for the approval of a Zoning Change from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail (GR) District and Commercial (C) District land uses on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the northwest corner of S. Goliad Street [SH-205] and Lofland Circle, and take any action necessary.

### BACKGROUND

The portion of the subject property that is adjacent to S. Goliad Street [SH-205] was annexed by the City Council on May 19, 1986 by *Ordinance No. 86-37 [Case No. A1986-005]*. At the time of annexation, this portion of the subject property was zoned Agricultural (AG) District. According to the historic zoning maps, at some point between the time of annexation and December 7, 1993 the north corner of the subject property was rezoned from an Agricultural (AG) District to a Commercial (C) District. The remainder of the subject property was annexed by the City Council on August 30, 1999 by *Ordinance No. 99-33 [Case No. A1999-001]*. At the time of annexation, this portion of the subject property was zoned Agricultural (AG) District. The subject property has remained vacant since annexation.

On October 17, 2025 the applicant submitted a request to change the zoning of the subject property from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for limited General Retail (GR) District and limited Commercial (C) District land uses. Ultimately, the applicant requested to withdraw this request at the November 11, 2025 Planning and Zoning Commission Public Hearing, due to concerns the Planning and Zoning Commission had with regard to the overall design and the requested land uses.

### PURPOSE

On December 12, 2025, the applicant -- *James Martin of Gardner Land Holdings LLC* -- submitted a development application requesting to change the zoning of the subject property from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for limited General Retail (GR) District and limited Commercial (C) District land uses.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest corner of S. Goliad Street [SH-205] and Lofland Circle. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is intersection of S. Goliad Street [SH-205] and Rise Drive, which are identified as a P6D (*i.e. principal, six [6] lane, divided roadway*) and a *Private Roadway* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 2.4629-acre parcel of land (*i.e. Lot 19, Block Z, Hickory Ridge Phase 4 Addition*) developed with Fire Station #4. Following this is Phase

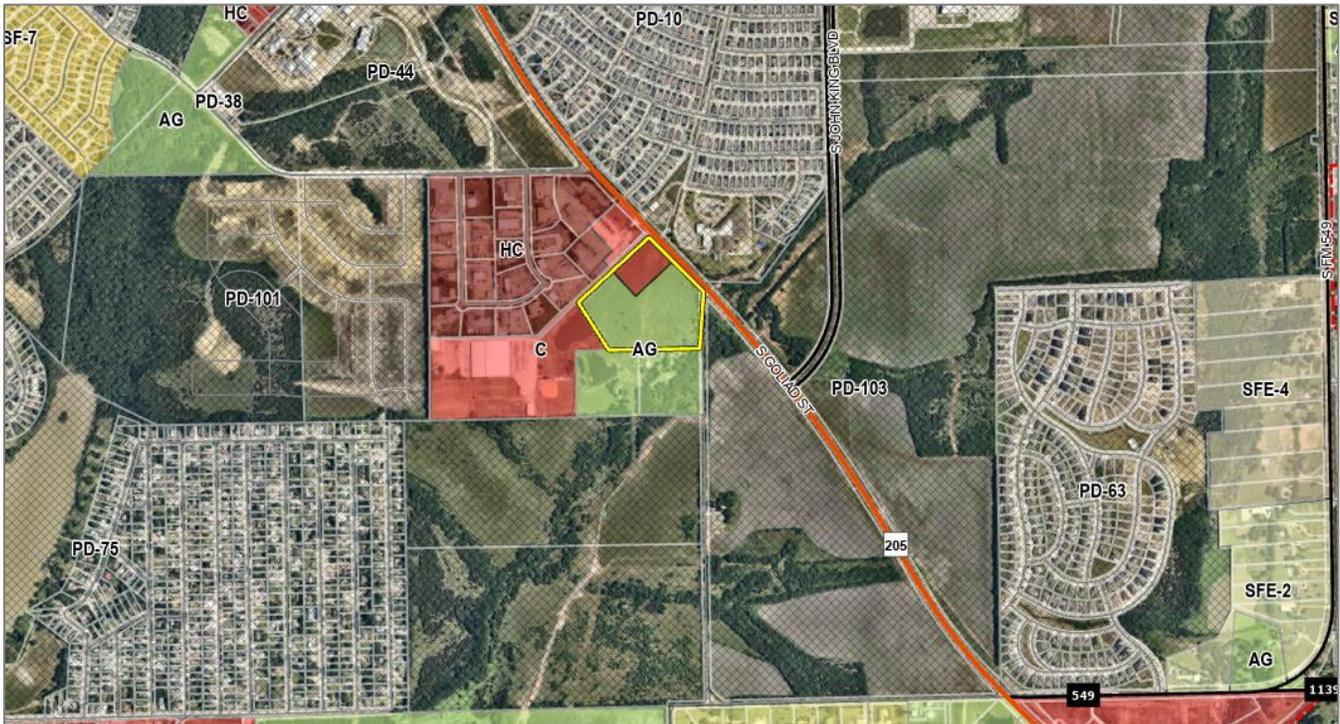
4 of the Hickory Ridge Subdivision, which was established in 2003, consists of 245 residential lots, and is zoned Planned Developed District 10 (PD-10) for single-family residential land uses.

**South:** Directly south of the subject property are two (2) tracts of land (*i.e. Tracts 1 & 2-27 of the J. R. Johnson Survey, Abstract No. 128*) zoned Agricultural (AG) District. Both of these properties have existing agricultural buildings situated on them. Beyond this are two (2) vacant tracts of land (*i.e. Tracts 3 & 4 of the J. R. Johnson Survey, Abstract No. 128*) zoned Planned Development District 103 (PD-103) for Single-Family 10 (SF-10) District land uses.

**East:** Directly east of the subject property is the intersection of S. Goliad Street [SH-205] and Lofland Circle, which are identified as a P6D (*i.e. principal, six [6] lane, divided roadway*) and a M4U (*i.e. major, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 12.556-acre parcel of land (*i.e. Lot 18R, Block Z, Hickory Ridge Phase 4 Addition*) developed with Ouida Springer Elementary, zoned Planned Development District 10 (PD-10). Following this is vacant tract of land (*i.e. Tract 3 of the A. Johnson Survey, Abstract No. 123*), zoned Planned Development District 103 (PD-103) for General Retail (GR) District land uses. East of this is S. John King Boulevard, which is identified as an P6D (*i.e. principal, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**West:** Directly west of the subject property is a 23.27-acre tract of land (*i.e. Tract 2-28 of the J. R. Johnson Survey, Abstract No. 128*) developed with an indoor sports complex (*i.e. the RISE*), zoned Commercial (C) District. Beyond this are several tracts of land that front National Drive, and that are developed with heavy commercial land uses -- many of which are legally non-conforming -- zoned Heavy Commercial (HC) District.

MAP 1: LOCATION MAP  
YELLOW: SUBJECT PROPERTY



### CHARACTERISTICS OF THE REQUEST

The applicant has submitted a *Concept Plan* showing that the subject property will be subdivided into three (3) subdistricts (*i.e. Subdistricts 'A', 'B', & 'C'*) [see Figure 1]. Subdistrict 'A' will be ~4.31-acres, and consist of multiple pad sites for primarily *Retail* and *Restaurant* land uses. Subdistrict 'B' will consist of ~4.43-acres, and consist of multiple pad sites for multi-tenant *Office* land uses. Subdistrict 'C' will consist of ~6.86-acres, and be comprised of multiple pad sites for limited commercial land uses. This

equates to a total of 15.601-acres within the proposed Planned Development District. Based on the development standards submitted by the applicant, *Subdistrict 'A'* and *Subdistrict 'B'* will be subject to limited General Retail (GR) District land uses, and *Subdistrict 'C'* will be subject to limited Commercial (C) District land uses; however, the applicant has requested specific uses be included as *by-right* land uses in each subdistrict. In addition, staff has incorporated language that would require the proposed developments to meet the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC). The following is a breakdown of the specific standards for each of the proposed subdistricts:

**Subdistrict 'A'**

As previously stated, *Subdistrict 'A'* will be 4.31-acres, and consist of multiple pad sites for primarily *Retail* and *Restaurant* land uses. Based on the provided *Concept Plan*, *Subdistrict 'A'* will incorporate five (5) separate buildings, three (3) will target *Retail* users with the remaining buildings being expected to be *Restaurants with Drive-Throughs*. The proposed subdistrict will be subject to the density and dimensional standards stipulated for properties in a General Retail (GR) District and the *General Overlay District Standards* as specified by the Unified Development Code (UDC). In addition, staff has limited the land uses permitted within *Subdistrict 'A'* in the Planned Development District ordinance to prohibit all the land uses allowed in the General Retail (GR) District that are inconsistent with the intent of the proposed *Concept Plan* and the established adjacent land uses. As previously stated, *Subdistrict 'A'* shall be required to meet all of the density and dimensional requirements stipulated for a property in a General Retail (GR) District as outlined by Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized in *Table 1* below.



**FIGURE 1: PROPOSED CONCEPT PLAN WITH THE SUBDISTRICTS DELINEATED.**

**TABLE 1. SUBDISTRICT 'A' DENSITY AND DIMENSIONAL REQUIREMENTS**

MINIMUM LOT AREA	6,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK (1)	25'
MINIMUM SIDE YARD SETBACK (2)	10'
MINIMUM REAR YARD SETBACK (2)	10'
MINIMUM BETWEEN BUILDINGS (2)	20'
MAXIMUM BUILDING HEIGHT (3)	36'
MAXIMUM LOT COVERAGE (4)	40%
MINIMUM LANDSCAPING	20%

**GENERAL NOTES:**

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 60-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

**Subdistrict 'B'**

*Subdistrict 'B'* will be 4.43-acres, and consist of four (4) pad sites for primarily *Office* land uses, specifically, *Professional* and *Medical Offices*. The proposed subdistrict will be subject to the density and dimensional standards stipulated for properties in a General Retail (GR) District and the *General Overlay District Standards* as specified by the Unified Development Code (UDC).

In addition, staff has limited the land uses allowed in the General Retail (GR) District that are inconsistent with the intent of the proposed *Concept Plan* and the established adjacent land uses. As previously stated, *Subdistrict 'B'* shall be required to meet all of the density and dimensional requirements stipulated for a property in a General Retail (GR) District as outlined by Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized in *Table 2* below.

**TABLE 2. SUBDISTRICT 'B' DENSITY AND DIMENSIONAL REQUIREMENTS**

MINIMUM LOT AREA	6,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK <sup>(1)</sup>	25'
MINIMUM SIDE YARD SETBACK <sup>(2)</sup>	10'
MINIMUM REAR YARD SETBACK <sup>(2)</sup>	10'
MINIMUM BETWEEN BUILDINGS <sup>(2)</sup>	20'
MAXIMUM BUILDING HEIGHT <sup>(3)</sup>	36'
MAXIMUM LOT COVERAGE <sup>(4)</sup>	40%
MINIMUM LANDSCAPING	20%

**GENERAL NOTES:**

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 60-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

**Subdistrict 'C'**

*Subdistrict 'C'* will be 6.86-acres, and consist of multiple pad sites for primarily commercial land uses. Based on the provided *Concept Plan*, *Subdistrict 'C'* will incorporate five (5) separate buildings. The applicant is looking to establish higher intensity commercial land uses. The proposed subdistrict will be subject to the density and dimensional standards stipulated for properties in a Commercial (C) District and the *General Overlay District Standards* as specified by the Unified Development Code (UDC). In addition, staff has limited the land uses permitted within *Subdistrict 'C'* in the Planned Development District ordinance to prohibit all the land uses allowed in the Commercial (C) District that are inconsistent with the intent of the proposed *Concept Plan* and the established adjacent land uses. With that being said, the applicant is requesting that the following uses be permitted *by-right* in *Subdistrict 'C'*: [1] *Wholesale Showroom Facility*, [2] *Outside Storage and/or Outside Display*, and [3] *Light Assembly and Fabrication*, and [4] to allow *Light Manufacturing* to be permitted by Specific Use Permit (SUP). In review of the requested land uses, a *Whole Sale Showroom Facility* requires a Specific Use Permit (SUP) in a Commercial (C) District, and the *Light Manufacturing*, *Outside Storage and/or Display*, and *Light Assembly and Fabrication* land uses are *not* permitted land uses within a Commercial (C) District. Staff should note that the applicant has agreed to limit the *Outside Storage and/or Outside Display* land use to only the storage of motor vehicles overnight on the subject property. Regardless of this, the incorporation of these additional land uses is a discretion decision for the City Council, pending a recommendation from the Planning and Zoning Commission. As previously stated, *Subdistrict 'C'* shall be required to meet all of the density and dimensional requirements stipulated for a property in a Commercial (C) District as outlined by Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized in *Table 3* below.

**TABLE 3: SUBDISTRICT 'C' DENSITY AND DIMENSIONAL REQUIREMENTS**

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK <sup>(1)</sup>	25'
MINIMUM SIDE YARD SETBACK <sup>(2)</sup>	10'
MINIMUM REAR YARD SETBACK <sup>(2)</sup>	10'
MINIMUM BETWEEN BUILDINGS <sup>(2)</sup>	20'
MAXIMUM BUILDING HEIGHT <sup>(3)</sup>	60'
MAXIMUM LOT COVERAGE <sup>(4)</sup>	60%
MINIMUM LANDSCAPING	20%

**GENERAL NOTES:**

- 1: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- 2: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL WHEN NOT ADJACENT TO A RIGHT-OF-WAY.
- 3: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- 4: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

## **INFRASTRUCTURE**

Based on the proposed request, when the property is developed the following infrastructure is required to be constructed to provide adequate public services for the subject property:

- (1) Water. The applicant will be required to construct all water lines in accordance with the Engineering Department's *Standards of Design and Construction Manual* and the Master Water Plan.
- (2) Wastewater. The applicant will be required to construct all wastewater lines in accordance with the Engineering Department's *Standards of Design and Construction Manual* and the Master Wastewater Plan.
- (3) Roadways. Additional right-of-way for S. Goliad Street [SH-205] shall be required to be dedicated equal to 60-feet from the centerline of the existing right-of-way. Right-of-way for Lofland Circle shall be required to be dedicated equal to 30-feet from the centerline of the existing right-of-way. In addition, 24-feet of Lofland Circle must be constructed in conformance with the Engineering Standards of Design and Construction. A Traffic Impact Analysis (TIA) shall be required for S. Goliad Street [SH-205] and Lofland Circle.
- (4) Drainage. Detention will be required and sized per the Engineering Department's *Standards of Design and Construction Manual* and the required drainage study.

## **CONFORMANCE TO THE CITY'S CODES**

Included in the applicant's submittal, *Conceptual Building Elevations* were provided in order to demonstrate the desired design scheme; however, these elevations did not meet the requirements of the *General Overlay District* that the proposed Planned Development District will be subject to if approved. Specifically, staff has identified the following changes that would need to be made to the *Conceptual Building Elevations* in order to bring them into conformance with the *General Overlay District Standards*, [1] articulation, [2] cementitious material within the first four (4) feet, [3] 20% stone on each façade, [4] 90% masonry material on each façade, and [5] four (4) sided architecture. The applicant has indicated that the proposed *Conceptual Building Elevations* are purely conceptual in nature and being shown in order to convey the desired design scheme for the development, and that any necessary changes per the *General Overlay District Standards* will be made at the time of site plan. In addition, staff should note that any variances to the building design will be reviewed at the time of site plan, and the proposed *Conceptual Building Elevations* do not vest any design standards.

According to Subsection 05.02(B), *Landscape Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), any non-residential land use "...that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers..."; however, the Planning and Zoning Commission may approve an alternative screening methods that incorporates three (3) tiered screening. In this case, the subject property has residential adjacency along the southern property line. Given this, the applicant has agreed to provide the 20-foot landscape buffer with three (3) tiered landscaping.

As detailed in the *Characteristics of the Request* portion of this case memo, the applicant is requesting deviations in land use in both *Subdistrict 'A'* and *Subdistrict 'C'*. Specifically, *Subdistrict 'A'* will have a base zoning of General Retail (GR) District, where the applicant has requested the *Restaurant with 2,000 SF or more with Drive-Through or Drive-In* land use be permitted by-right within the subdistrict, in lieu of requiring a Specific Use Permit (SUP). In *Subdistrict 'C'* the base zoning is Commercial (C) District and the applicant is requesting to allow three (3) land uses by-right and one (1) land use by Specific Use Permit (SUP). As previously stated, one (1) of these land uses currently require a Specific Use Permit (SUP) and three (3) of these land uses are not permitted within a Commercial (C) District.

The proposed *Concept Plan* includes one (1) entrance off of S. Goliad Street [SH-205] and one (1) entrance off of Lofland Circle. According to the Engineering Standards of Design and Construction both driveways do not meet the minimum spacing requirements. Specifically, all driveways along a TXDOT roadway (i.e. S. Goliad Street [SH-205]) are required to be 425-feet apart. In this case, both driveways fall short of this requirement.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the Southwest Residential District and is designated for Commercial/Retail land uses. The *Plan* defines the Commercial/Retail, as a "...land use category characterized by single to multi-tenant commercial retail centers along major arterials at key intersections. These areas are typically considered to be convenience shopping centers and service adjacent residential subdivisions." This section continues to state that Commercial/Retail "...should be designed with the pedestrian in mind, and provide connections between the commercial land use and the adjacent residential subdivision." In addition, the *Primary Land Uses* listed under this land use designation include: *Commercial Retail Buildings, Restaurants/Brew Pubs, Multi-Tenant Commercial Centers, Neighborhood Centers and Convenience Centers*; and, the *Secondary Land Uses* listed under this land use designation include: *Office/Financial Institutions, Parks, Open Space, and Institutional/Civic Land Uses*. The *Plan* also states that the secondary land uses should be *integrated* into the larger development. In this case, the applicant is proposing [1] a multi-tenant commercial retail center along a major arterial at a key intersection, [2] pedestrian amenities and connections between the commercial land use and the adjacent residential, and [3] has included land uses that are generally in conformance with land uses permitted within the Commercial/Retail designation (*with a few exceptions*). Based on this -- and the *Concept Plan* and the land uses outlined in the *Planned Development District ordinance* --, the project does appear to generally conform with the *Future Land Use Plan* and the Commercial/Retail land use designation; however, due to the deviations in land use this is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

Looking at the pertinent policies and goals for commercial development contained in the Comprehensive Plan, the applicant's request incorporates the majority of these objectives into the proposed *Planned Development District ordinance*; however, staff has identified the following non-conformity:

- (1) *CH. 01; Section 02.03; Goal #1 | Policy #3 (Page 1-2)*. Strip commercial centers should be avoided to encourage development that will not result in a sprawling community.

Staff's Response: The *Concept Plan* provided by the applicant indicates that the majority of the buildings within the *Planned Development District* would be constructed in strip retail or strip commercial center format. Specifically, within *Subdistrict 'A'* and *Subdistrict 'B'* all of the buildings are arranged and designed in a strip retail or strip commercial center format, with the exception of pad site 'A' & 'B' indicated on the *Concept Plan*.

Conformance: Based on this, the applicant's *Concept Plan* does not conform to this policy of the OURHometown Vision 2040 Comprehensive Plan.

Taking into account the applicant's proposed *Future Land Use* designation and the density and dimensional standards, portions of the applicant's request do appear to conform to the Unified Development Code (UDC) and Comprehensive Plan; however, the additional land uses proposed by the applicant and the areas outline in this case memo as not conforming to the Unified Development Code (UDC) and Comprehensive Plan (e.g. *the proposed driveway spacing, the strip retail/commercial design, etc.*), and the fact that this request is a zoning change, make this request a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

### **NOTIFICATIONS**

On December 17, 2025, staff mailed 33 notices to property owners and occupants within 500-feet of the subject property. The Hickory Ridge and Hickory Ridge East Homeowner's Associations (HOAs) were notified and are the only Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in favor of the applicant's request.

## **CONDITIONS OF APPROVAL**

If the City Council chooses to approve the applicant's request to rezone the subject property from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for limited General Retail (GR) District and limited Commercial (C) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## **PLANNING AND ZONING COMMISSION**

On January 13, 2026, the Planning and Zoning Commission approved a motion to recommend denial of the zoning change by a vote of 3-2, with Commissioners Bentley and Brock dissenting, Commissioner Roth absent, and one (1) vacancy. According to Subsection 02.03(G), *Protest of a Zoning Change*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), if a zoning change "...is recommended for denial by the Planning and Zoning Commission, such zoning change or Specific Use Permit (SUP) shall require a supermajority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval."



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:  
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 3600 S Goliad St, Rockwall, TX 75032

SUBDIVISION A0128 J R JOHNSON

LOT

BLOCK

GENERAL LOCATION Across the street from Springer Elementary School

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agriculture & Commercial

CURRENT USE Vacant

PROPOSED ZONING Planned Development

PROPOSED USE Mixed Use

ACREAGE 15.001

LOTS [CURRENT] 1

LOTS [PROPOSED] 5-6

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HR3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER MILLER FAMILY INVESTMENT LP

APPLICANT Gardner Land Holdings LLC

CONTACT PERSON Rod Miller

CONTACT PERSON Bart Gardner

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Rodney G. Miller [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

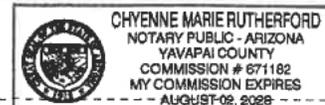
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 20th TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE October DAY OF 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 20th DAY OF October, 2025

OWNER'S SIGNATURE

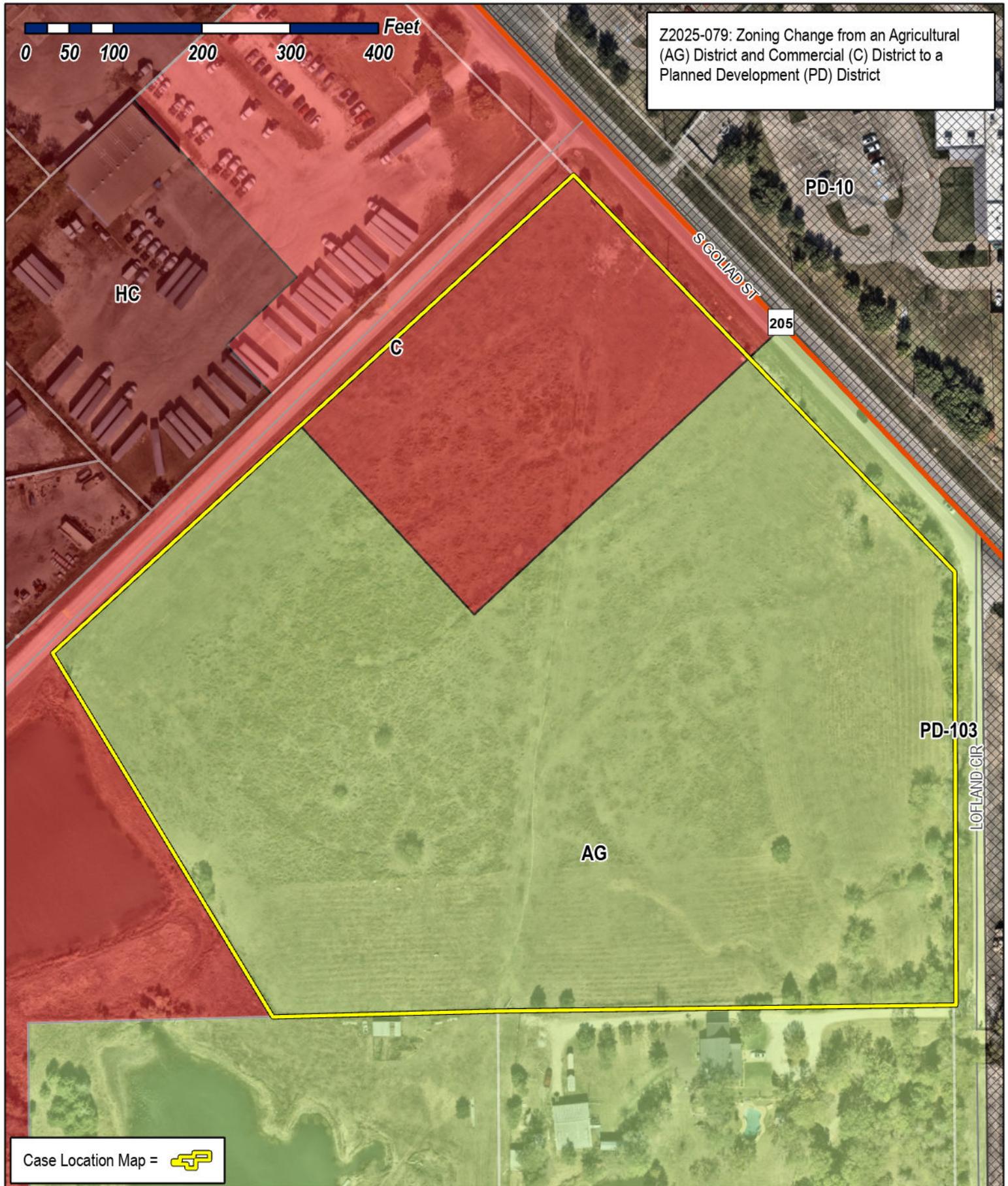
*Rodney G. Miller*

NOTARY PUBLIC IN AND FOR THE STATE OF Arizona



MY COMMISSION EXPIRES

Aug-02-2028



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

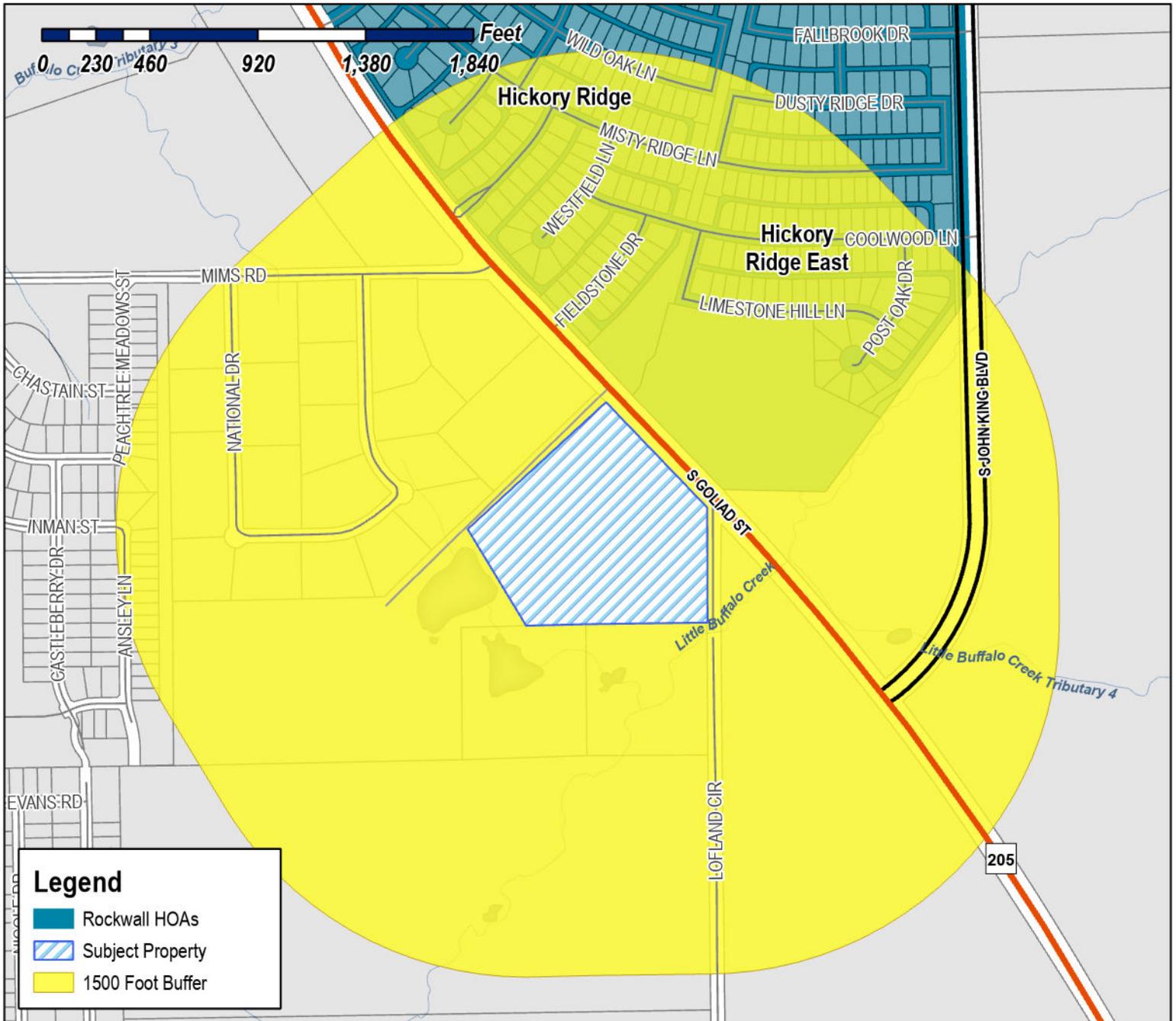




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**Case Number:** Z2025-079  
**Case Name:** Zoning Change from AG and C to PD  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** NE Corner of Lofland Cir and HWY 205



**Date Saved:** 12/15/2025

For Questions on this Case Call (972) 771-7745

**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)  
**Subject:** Neighborhood Notification Program {Z2025-079}  
**Date:** Wednesday, December 17, 2025 1:30:20 PM  
**Attachments:** [Public Notice \(12.16.2025\).pdf](#)  
[HOA Map \(12.15.2025\).pdf](#)

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HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, December 19, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, January 13, 2026 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, January 20, 2026 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-  
Z2025-079: Zoning Change from AG and C to PD

Hold a public hearing to discuss and consider a request by James Martin of Gardner Land Holdings LLC on behalf of Bart Gardner of Gardner Land Holdings, LLC for the approval of a [Zoning Change](#) from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail (GR) District and Commercial (C) District land uses on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the northwest corner of S. Goliad Street [SH-205] and Lofland Circle, and take any action necessary.

*Melanie Zavala*

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087

[Planning & Zoning Rockwall](#)

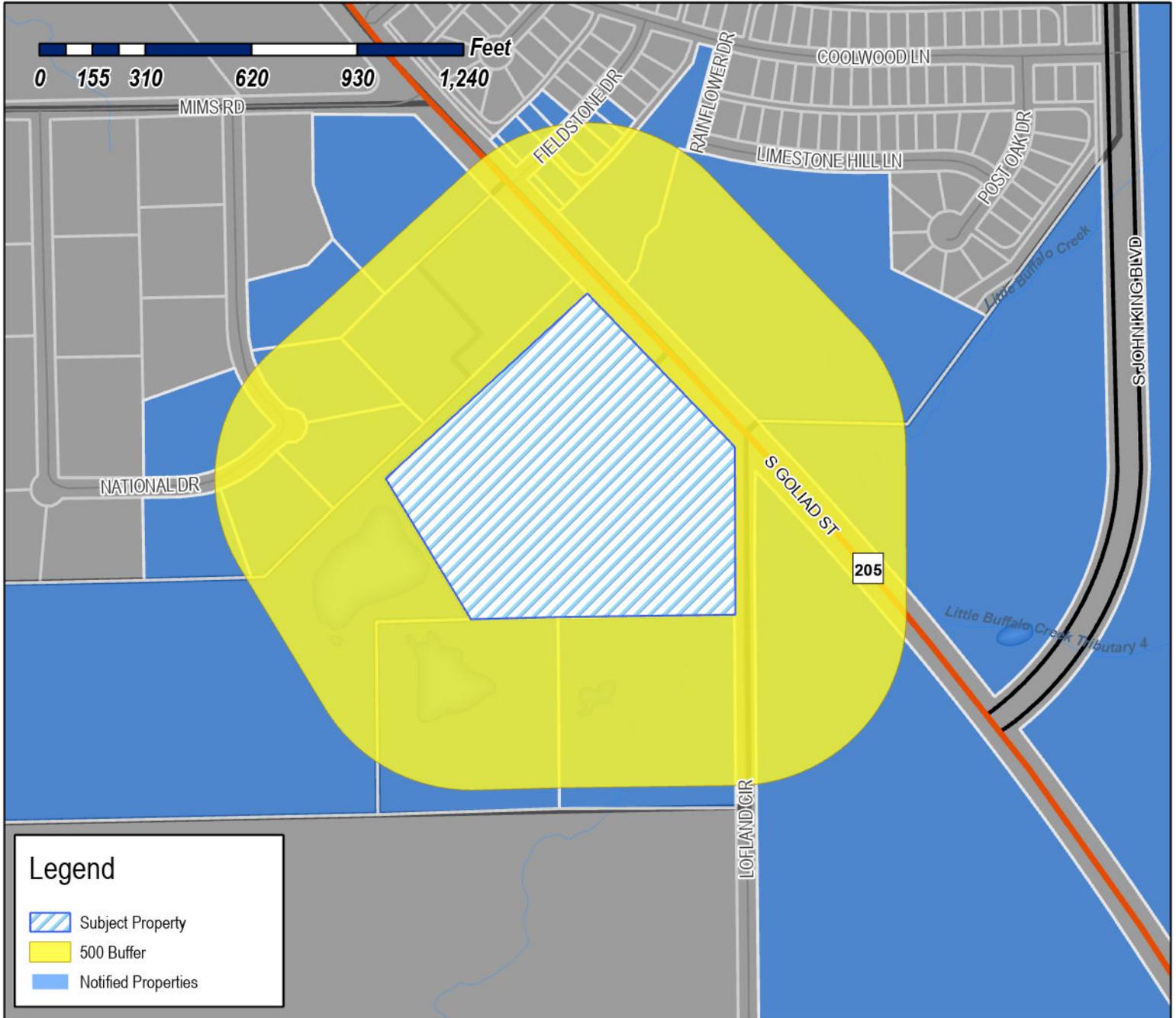
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Legend**

-  Subject Property
-  500 Buffer
-  Notified Properties

**Case Number:** Z2025-079  
**Case Name:** Zoning Change from AG and C to PD  
**Case Type:** Zoning  
**Zoning:** Agricultural (AG) District  
**Case Address:** NE Corner of Lofland Cir and HWY 205

**Date Saved:** 12/15/2025  
 For Questions on this Case Call: (972) 771-7745



JONES MICHAEL  
125 Deverson Dr  
Rockwall, TX 75087

ZIYADEH MUNEE R ABU  
1490 FIELDSTONE DR  
ROCKWALL, TX 75032

REYES JULIO CESAR & URANIA S  
1491 FIELDSTONE DR  
ROCKWALL, TX 75032

CONFIDENTIAL  
1500 FIELDSTONE DR  
ROCKWALL, TX 75032

NICKERSON TELISA A  
1501 FIELDSTONE DR  
ROCKWALL, TX 75032

KROLL MONTY R  
1506 FIELDSTONE DR  
ROCKWALL, TX 75032

RESIDENT  
1507 FIELDSTONE DR  
ROCKWALL, TX 75032

CRUZET MARIE FLOR  
1512 FIELDSTONE DR  
ROCKWALL, TX 75032

AUTENCIO ROSELYN P & PHILIP  
1518 FIELDSTONE DR  
ROCKWALL, TX 75032

NXG SERVICES LLC  
1520 Bell Haven Ct  
Rockwall, TX 75032

MILLER FAMILY INVESTMENT LP  
17430 Campbell Rd Ste 230  
Dallas, TX 75252

HICKORY RIDGE EAST HOMEOWNERS ASSOC  
1800 Preston Park Blvd Ste 101  
Plano, TX 75093

RESIDENT  
227 NATIONAL DR  
ROCKWALL, TX 75032

RESIDENT  
2890 S GOLIAD  
ROCKWALL, TX 75032

RESIDENT  
2890 S GOLIAD  
ROCKWALL, TX 75032

RESIDENT  
291 NATIONAL DR  
ROCKWALL, TX 75032

RESIDENT  
2915 S GOLIAD  
ROCKWALL, TX 75032

LAYZA & LUNA REAL ESTATE LLC  
2922 S GOLIAD ST  
ROCKWALL, TX 75032

RESIDENT  
3025 LIMESTONE HILL LN  
ROCKWALL, TX 75032

RESIDENT  
311 NATIONAL DR  
ROCKWALL, TX 75032

EPES TRANSPORT SYSTEM LLC  
3400 EDGEFIELD CT  
GREENSBORO, NC 27408

RESIDENT  
355 NATIONAL DR  
ROCKWALL, TX 75032

RESIDENT  
368 NATIONAL DR  
ROCKWALL, TX 75032

FORREST FRANK & KELLI LAFON  
3808 LOFLAND CIR  
ROCKWALL, TX 75032

FORREST FRANK & KELLI LAFON  
3808 LOFLAND CIR  
ROCKWALL, TX 75032

RESIDENT  
381 NATIONAL DR  
ROCKWALL, TX 75032

HPLI LLC  
3820 AZURE LN  
ADDISON, TX 75001

CITY OF ROCKWALL  
385 S GOLIAD ST  
ROCKWALL, TX 75087

GADDIS ROY F FAMILY TRUST  
ROY F GADDIS TRUSTEE  
6 BRIGHT MEADOWS ROAD  
HEATH, TX 75032

QUALICO DEVELOPMENTS US INC  
6950 Tpc Dr Ste 150 2 GREENSIDE AT CRAIG  
RANCH  
McKinney, TX 75070

GROUP 1 REALTY INC  
730 Town and Country Blvd Ste 500  
Houston, TX 77024

D & A REAL ESTATE PARTNERS LTD  
PO BOX 850  
ROCKWALL, TX 75087

TJT INVESTMENT TRUST  
JAMES DWAIN POWERS & PATRICIA ANNETTE  
POWERS - CO-TRUSTEES  
PO BOX 850  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2025-079: Zoning Change from AG and C to PD

Hold a public hearing to discuss and consider a request by James Martin of Gardner Land Holdings LLC on behalf of Bart Gardner of Gardner Land Holdings, LLC for the approval of a Zoning Change from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail (GR) District and Commercial (C) District land uses on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the northwest corner of S. Goliad Street [SH-205] and Lofland Circle, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 13 2026 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 20, 2026 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 20, 2026 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

## Case No. Z2025-079: Zoning Change from AG and C to PD

Please place a check mark on the appropriate line below:

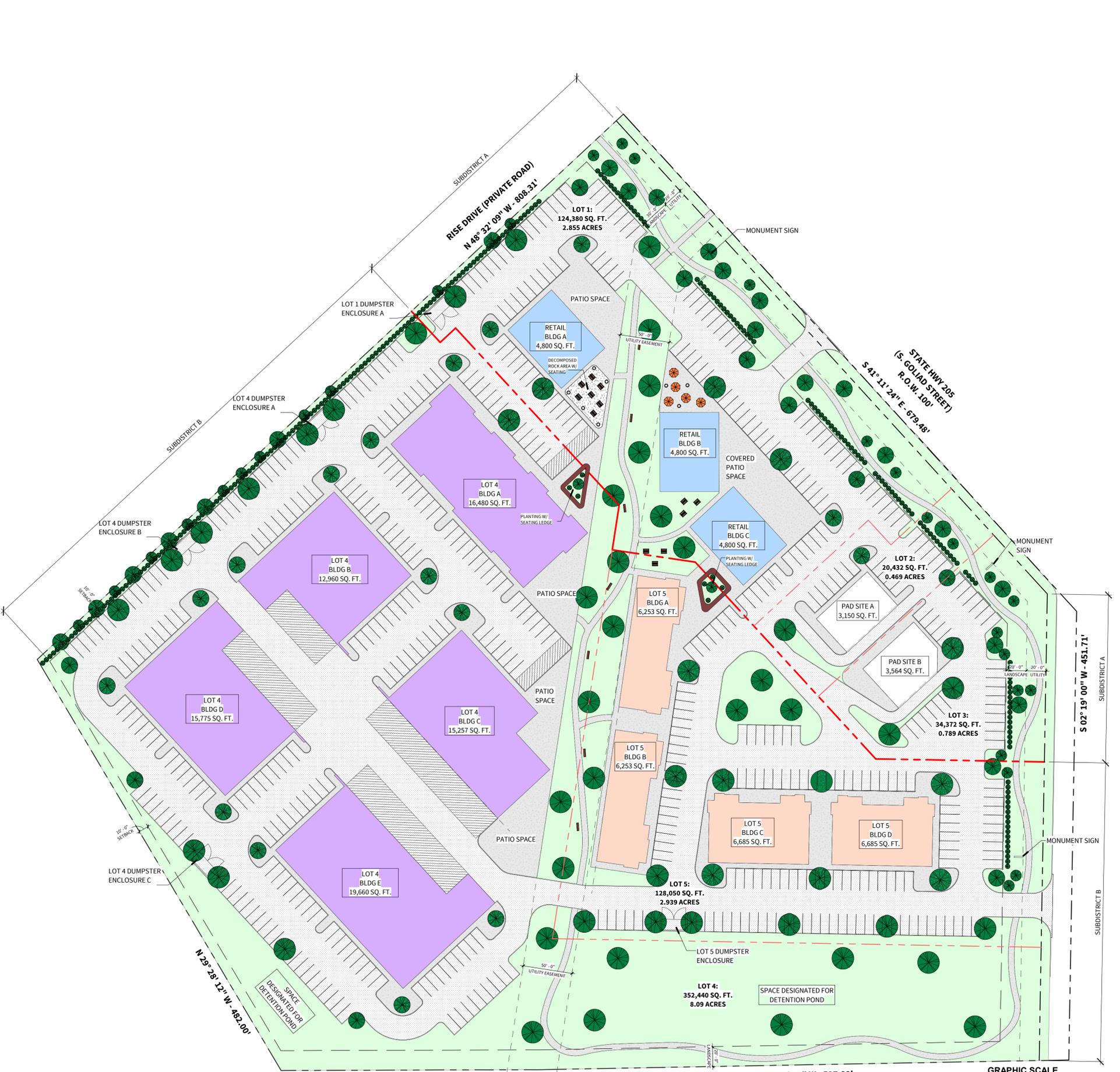
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



### MATERIAL LEGEND

	PROPOSED PAVING: DRIVES AND PARKING		PROPOSED PAVING: SIDEWALKS
	PROPOSED PAVING: FIRE LANES		PROPOSED LANDSCAPED AREA
	PROPOSED NEW RETAIL STRUCTURE		PROPOSED NEW OFFICE/ WAREHOUSE STRUCTURE
	PROPOSED NEW PROFESSIONAL/ MEDICAL OFFICE STRUCTURE		

PROPOSED LOT LINES ARE SHOWN IN RED

### SITE INFORMATION

LAND AREA:	15.601 ACRES (679,580 SQ. FT.)
CURRENT ZONING:	AGRICULTURE
EXISTING USE:	AGRICULTURE USES ON UNPLANNED LAND
PROPOSED ZONING:	PLANNED DEVELOPMENT (GENERAL)
PROPOSED USE:	RETAIL / COMMERCIAL MIXED USE DEVELOPMENT
BUILDING AREA:	RETAIL - 14,400 SQ. FT. OFFICE/SHOWROOM - 80,132 SQ. FT. OFFICE/MEDICAL - 25,875 SQ. FT.
BUILDING TO LOT COVERAGE:	120,407 / 679,580 = 17.72%
BUILDING HEIGHT:	VARIABLE (17' - 0" TO 23' - 0")
IMPERVIOUS AREA:	342,921 SQ. FT.
LANDSCAPED AREA REQUIRED:	20% OF TOTAL SITE
LANDSCAPED AREA PROVIDED:	199,862 / 679,580 = 29.41%

### LEGAL DESCRIPTION

BEING a 15.601 acre tract of land situated in the J.R. Johnson Survey, Abstract Number 128, the City of Rockwall, Rockwall County, Texas, being all of Miller Family Investments, LP, record in Instrument Number 2008-0048220, Deed Records Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found for corner in the most northerly corner of said Miller tract, same an interior corner of Layza and Luna Real Estate, LLC, recorded in Instrument Number 2022000001115, Deed Records Rockwall County, Texas, also being a point in the most westerly Right-of-Way line of Goliad Street (variable width Right-of-Way), from which a 1/2 inch iron rod found bears, North 43 degrees 32 minutes 03 seconds West, 40.00 feet;

THENCE South 43 degrees 32 minutes 03 seconds East, along the most northeasterly line of said Miller tract, a distance of 679.48 feet to a "60D" Nail found for corner in the most northeasterly corner of said Miller tract, same being the most northerly corner of Qualico Developments (U.S.), Inc., recorded in Instrument Number 2025000002120, Deed Records Rockwall County, Texas;

THENCE South 00 degrees 01 minutes 38 seconds East, departing from said Goliad Street in a southerly direction, a distance of 451.70 feet to a "Mag" Nail found for corner in the most southeasterly corner of said Miller tract, same being a point in the most westerly line of said Qualico tract, also being the most northeasterly corner of Frank Forrest and Kelli Lafon Forest, recorded in Volume 2664, Page 159, Deed Records Rockwall County, Texas;

THENCE over, across, and upon said Miller tract the following three (3) courses and distances:  
 South 87 degrees 56 minutes 04 seconds West, a distance of 537.08 feet to a capped 1/2 inch iron rod stamped "RPLS 5034" found for corner;  
 South 88 degrees 47 minutes 43 seconds West, a distance of 260.79 feet to a 1/2 inch iron rod found for corner;  
 North 31 degrees 48 minutes 51 seconds West, a distance of 482.00 feet to a 1/2 inch iron rod found for corner in the most westerly corner of said Miller tract, also being an interior corner of said Layza and Luna tract;

THENCE North 46 degrees 11 minutes 30 seconds East, along the most northwesterly line of said Miller tract, a distance of 808.31 feet to the POINT OF BEGINNING and containing 15.601 acres (679,586 sq. ft.) of land, more or less.



**PROJECT INFORMATION**  
 THE EXCHANGE AT ROCKWALL  
 3600 S. GOLIAD STREET  
 ROCKWALL, TX 75032  
 PROJECT CASE NUMBER: Z2025-072

**OWNER INFORMATION**  
 GARDNER LAND HOLDING LLC  
 15950 SH 205  
 TERRELL, TX 75160  
 214.675.4435

**DEVELOPER INFORMATION**  
 CONTEX DEVELOPMENT PARTNERS  
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 TERRELL, TX 75160  
 214.675.4435

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WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_, 2025.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

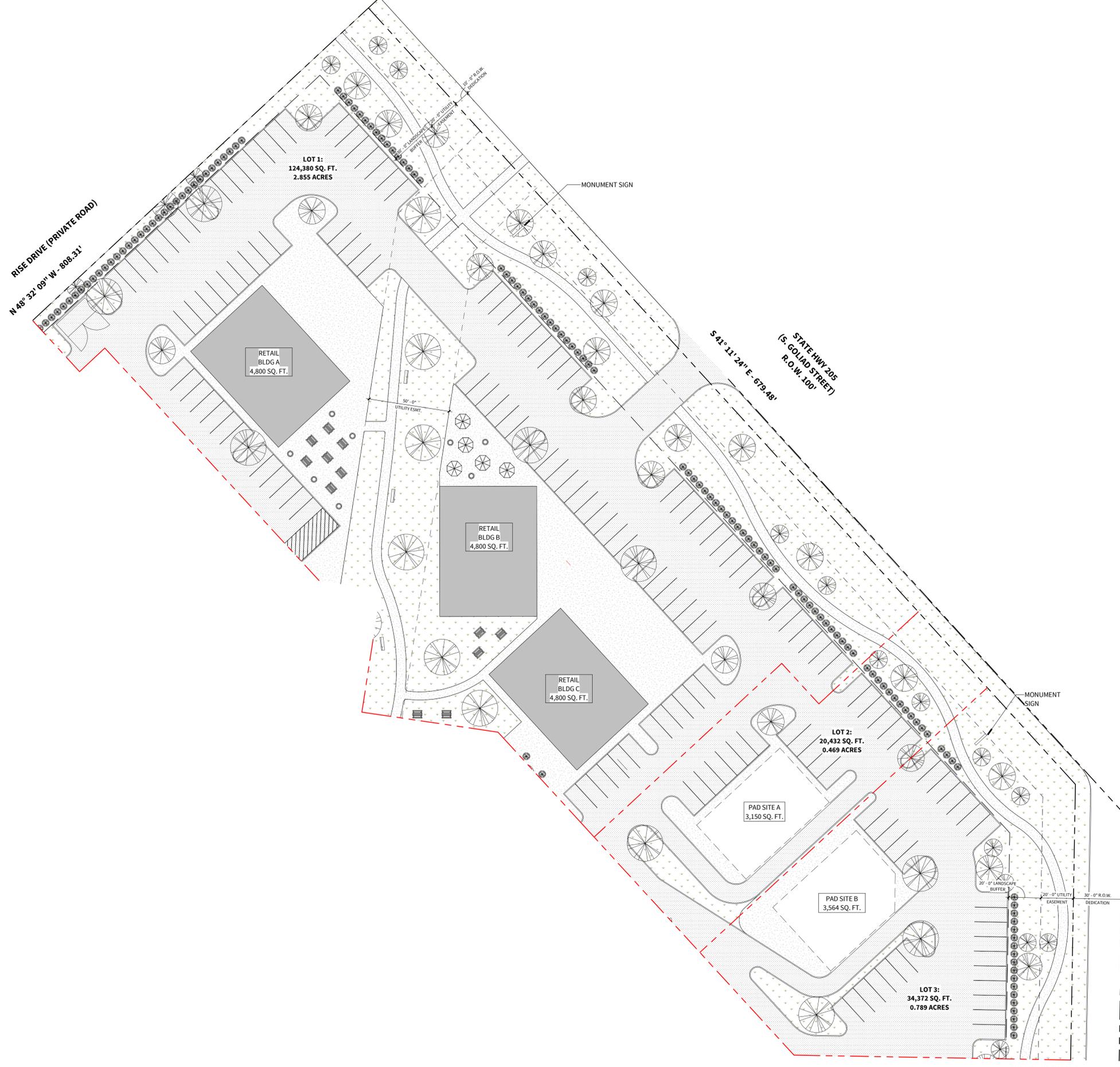
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 Director of Planning and Zoning



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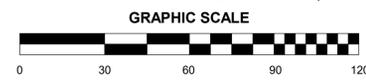
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ARCHITECT:  
 JUSTIN S. GILMORE  
 LEVEL 5 ARCHITECTURE



**CONCEPTUAL SITE PLAN (SUBDISTRICT A) - 4.113 ACRES**

SCALE: 1" = 30'-0"



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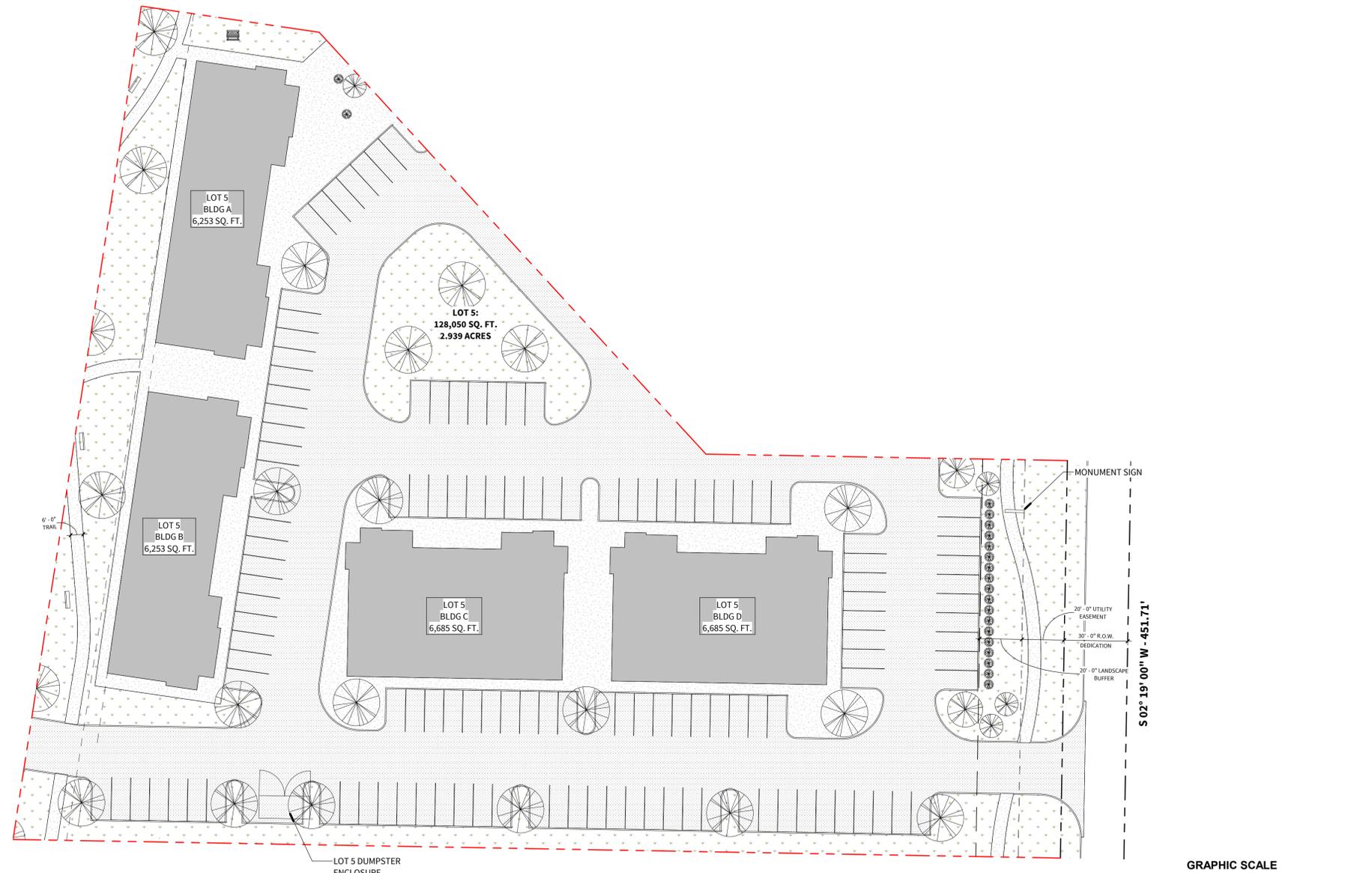
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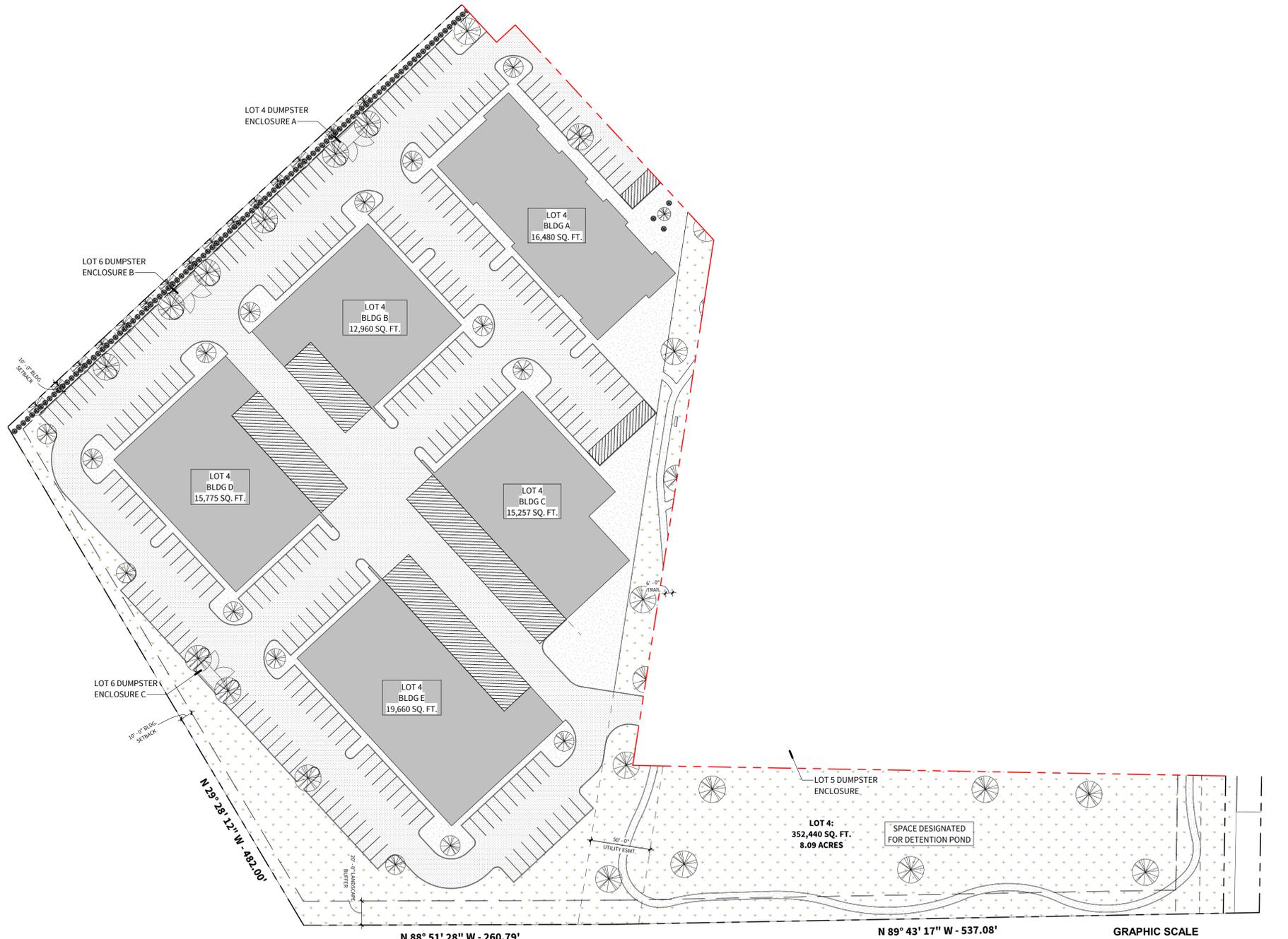
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**TRUE** **1** **CONCEPTUAL SITE PLAN (SUBDISTRICT B) - 2.941 ACRES**  
 SCALE: 1" = 30'-0"

1/6/2026 4:33:52 PM



**1 CONCEPTUAL SITE PLAN (SUBDISTRICT C) - 8.079 ACRES**  
SCALE: 1" = 50'-0"

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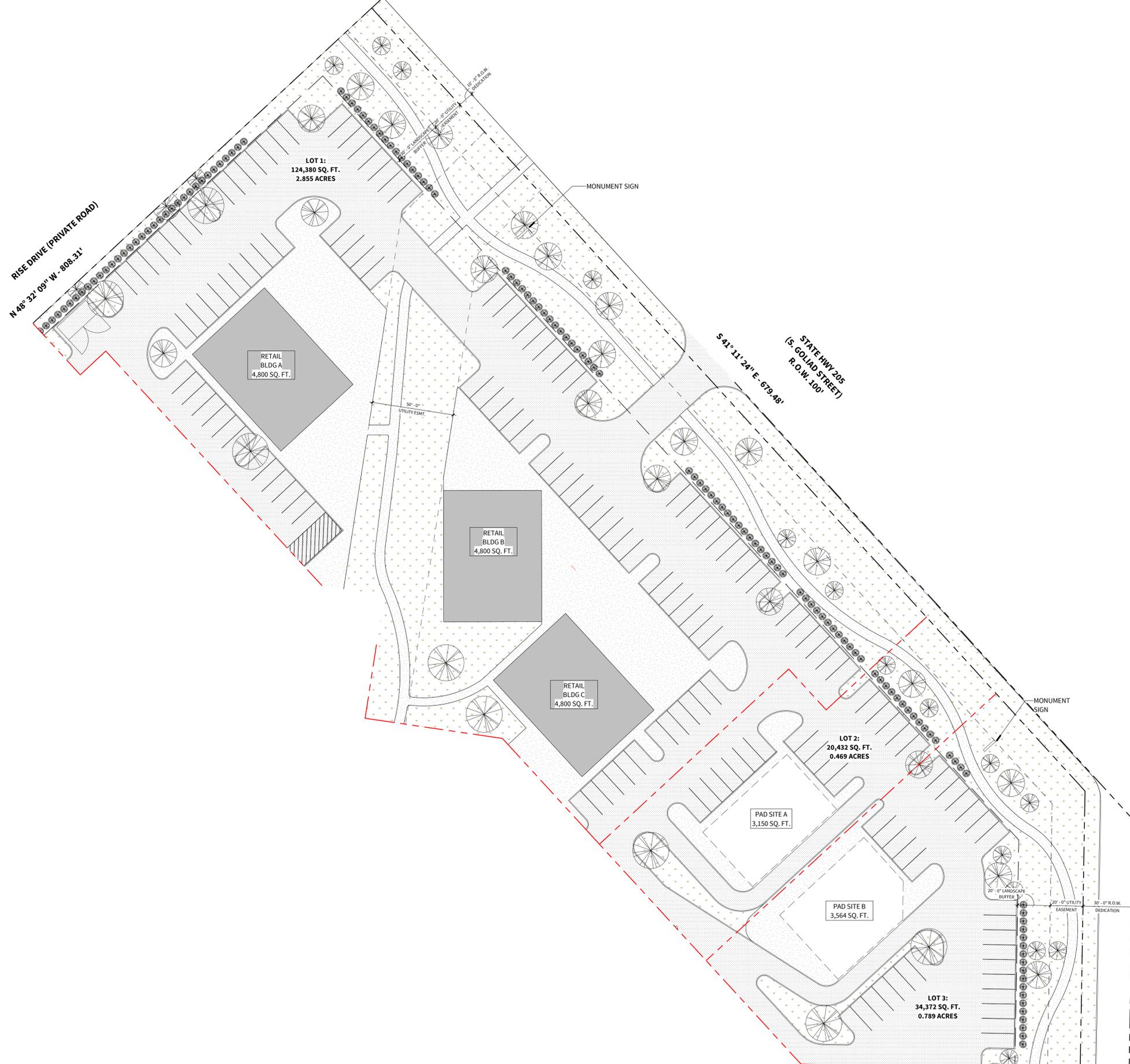
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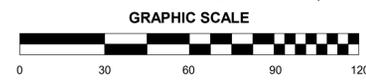


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LEVEL 5 ARCHITECTURE



**CONCEPTUAL SITE PLAN (SUBDISTRICT A) - 4.113 ACRES**

SCALE: 1" = 30'-0"



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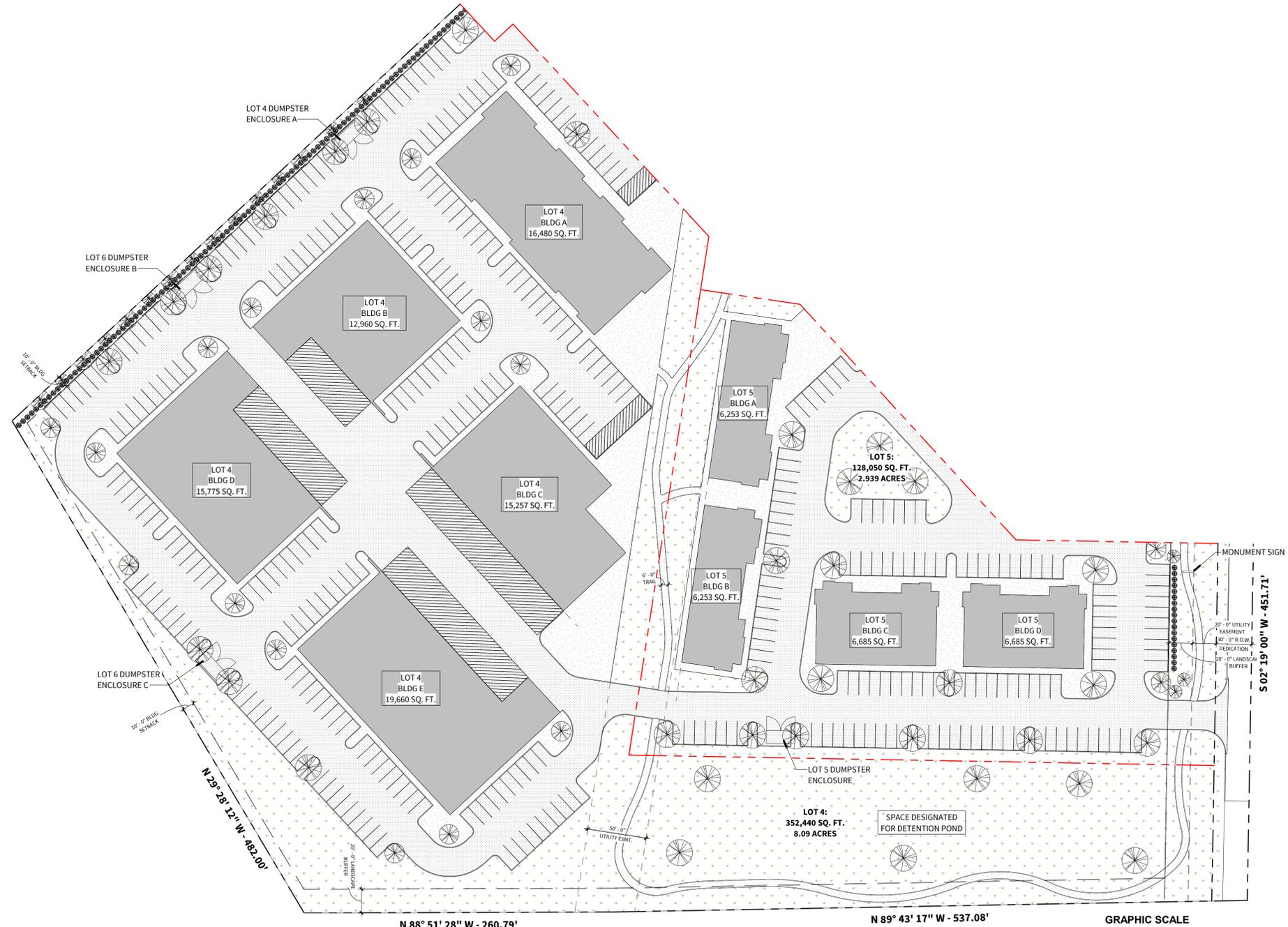
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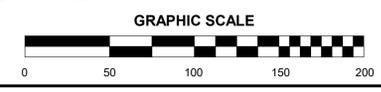
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**CONCEPTUAL SITE PLAN (SUBDISTRICT B) - 11.031 ACRES**  
 SCALE: 1" = 50'-0"



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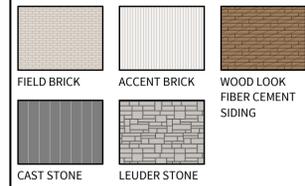
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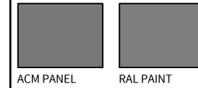


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**MASONRY LEGEND (73%)**



**METALL LEGEND (2%)**



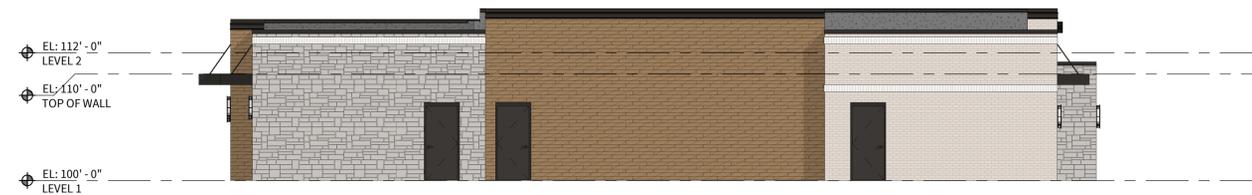
**GLAZING LEGEND (25%)**



**④ WEST ELEVATION - RETAIL CONCEPT**  
SCALE: 1/8" = 1'-0"



**③ EAST ELEVATION - RETAIL CONCEPT**  
SCALE: 1/8" = 1'-0"



**② SOUTH ELEVATION - RETAIL CONCEPT**  
SCALE: 1/8" = 1'-0"



**① NORTH ELEVATION - RETAIL CONCEPT**  
SCALE: 1/8" = 1'-0"

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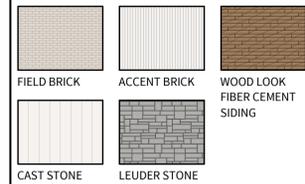
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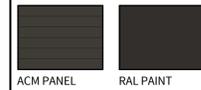


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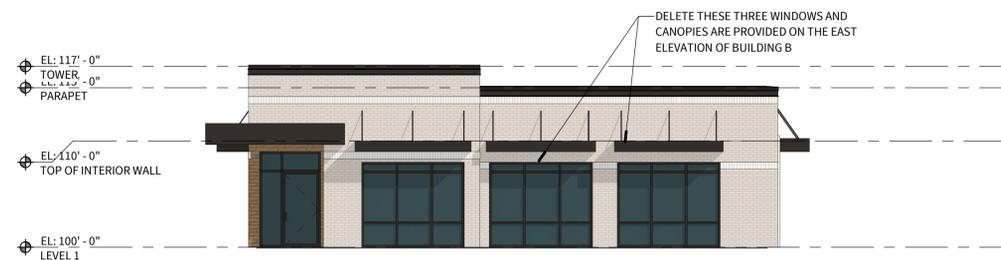
**MASONRY LEGEND (69%)**



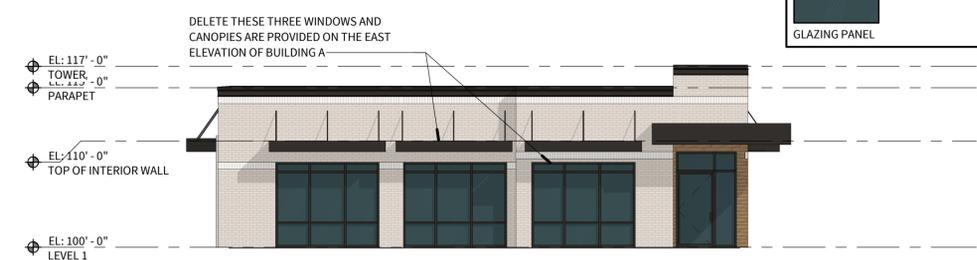
**METAL LEGEND (10%)**



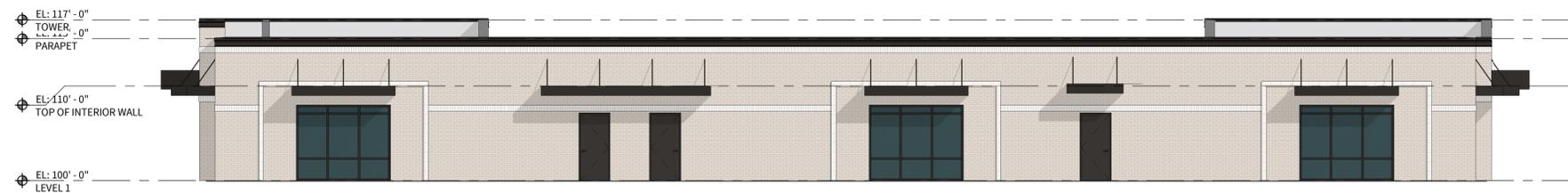
**GLAZING LEGEND (21%)**



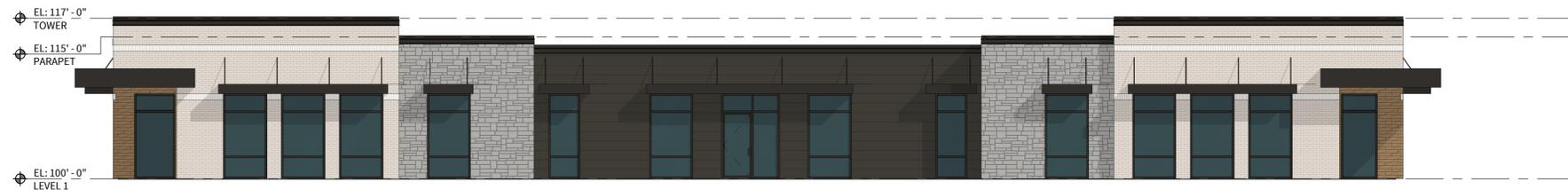
**④ NORTHEAST ELEVATION - MEDICAL/PROFESSIONAL OFFICE CONCEPT**  
SCALE: 1/8" = 1'-0"



**③ SOUTHWEST ELEVATION - MEDICAL/PROFESSIONAL OFFICE CONCEPT**  
SCALE: 1/8" = 1'-0"



**② NORTHWEST ELEVATION - MEDICAL/PROFESSIONAL OFFICE CONCEPT**  
SCALE: 1/8" = 1'-0"



**① SOUTHEAST ELEVATION - MEDICAL/PROFESSIONAL OFFICE CONCEPT**  
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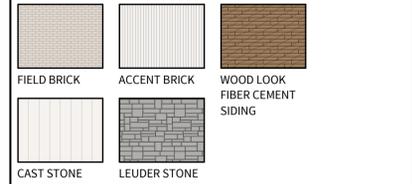


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Mansfield, TX | Springdale, AR  
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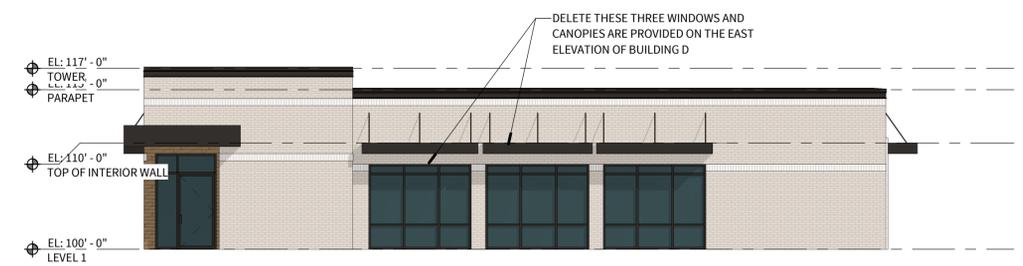
**MASONRY LEGEND (70%)**



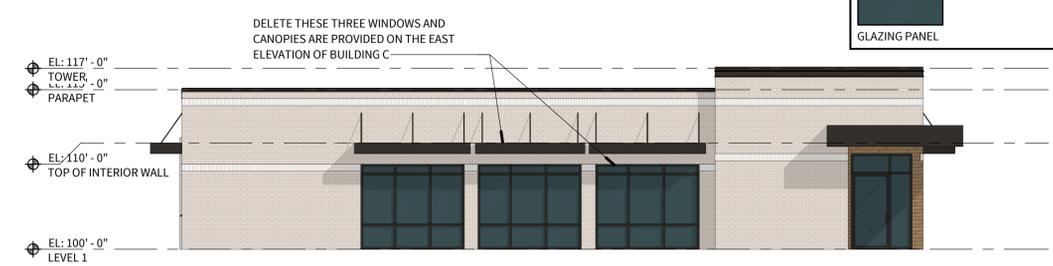
**METAL LEGEND (10%)**



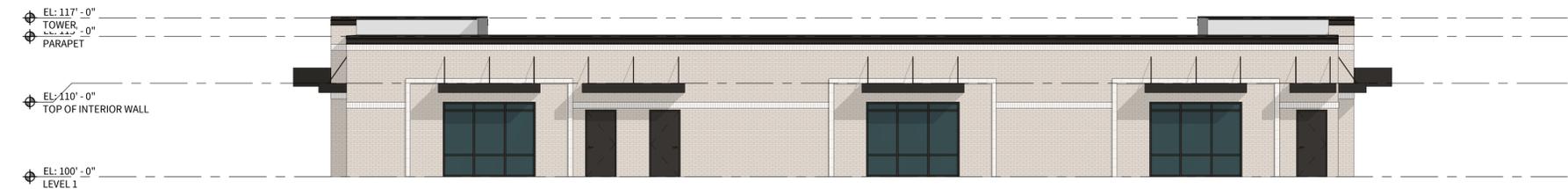
**GLAZING LEGEND (20%)**



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SCALE: 1/8" = 1'-0"



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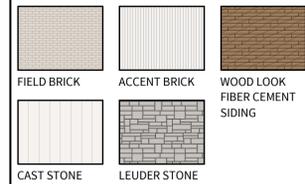
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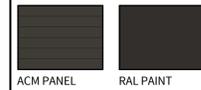


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LEVEL 5 ARCHITECTURE

**MASONRY LEGEND (69%)**



**METAL LEGEND (17%)**



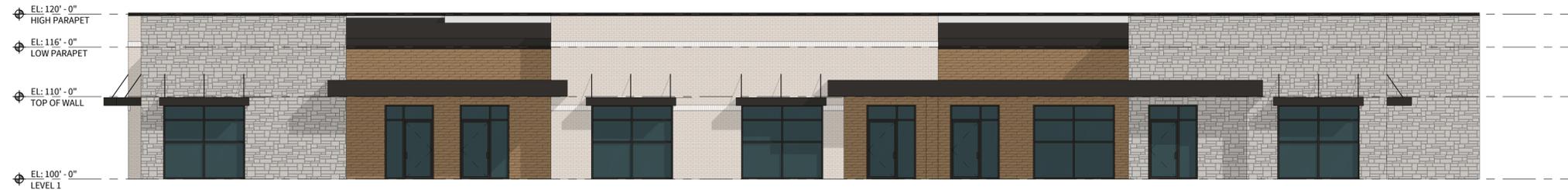
**GLAZING LEGEND (14%)**



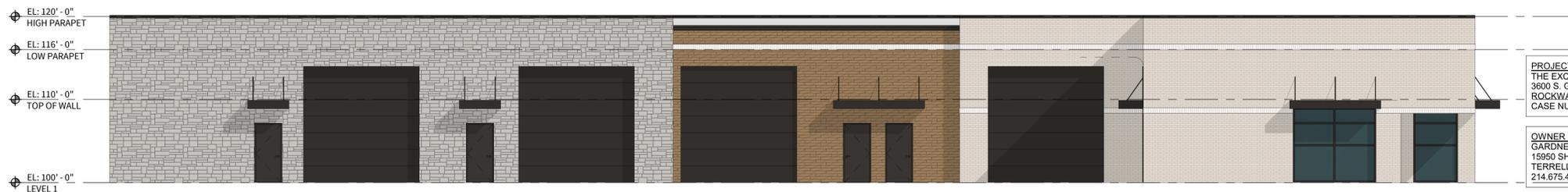
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**④ PERSPECTIVE - MEDICAL/PROFESSIONAL OFFICE CONCEPT**  
SCALE:



**③ PERSPECTIVE - MEDICAL/PROFESSIONAL OFFICE CONCEPT**  
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**② PERSPECTIVE - MEDICAL/PROFESSIONAL OFFICE CONCEPT**  
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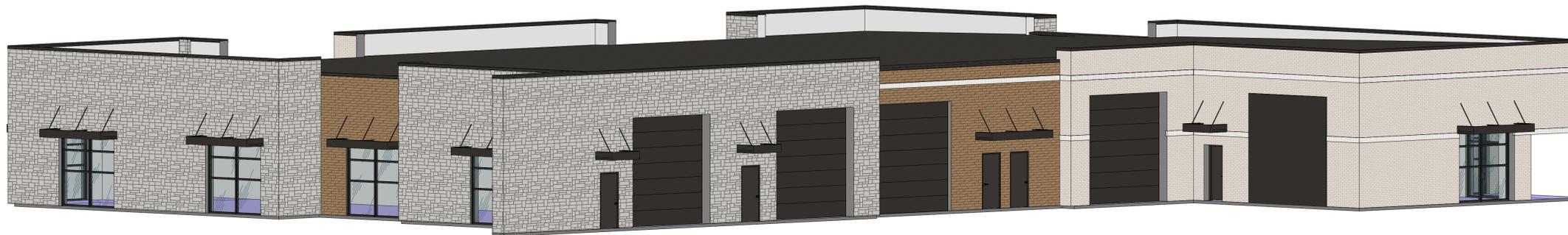
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SCALE:



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LEVEL  
**5**

AI GENERATED CONCEPTUAL RENDER



LEVEL  
**5**

AI GENERATED CONCEPTUAL RENDER



LEVEL  
**5**

AI GENERATED CONCEPTUAL RENDER



LEVEL  
**5**

AI GENERATED CONCEPTUAL RENDER



AI GENERATED CONCEPTUAL RENDER

**LEGEND:**

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

# PERMITTED LAND USES IN A GENERAL RETAIL (GR) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a> ]	GENERAL RETAIL (GR) DISTRICT
<b>AGRICULTURAL AND ANIMAL RELATED LAND USES</b>	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	<a href="#">(1)</a>		P
Animal Boarding/Kennel without Outside Pens	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Animal Clinic for Small Animals without Outdoor Pens	<a href="#">(3)</a>	<a href="#">(3)</a>	P
Animal Hospital or Clinic	<a href="#">(4)</a>		S
Community Garden	<a href="#">(11)</a>	<a href="#">(7)</a>	S
Urban Farm	<a href="#">(12)</a>	<a href="#">(8)</a>	S
<b>RESIDENTIAL AND LODGING LAND USES</b>	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	<a href="#">(3)</a>		P
Convent, Monastery, or Temple	<a href="#">(4)</a>		P
Commercial Parking Garage	<a href="#">(6)</a>		A
Limited-Service Hotel	<a href="#">(10)</a>		S
Full-Service Hotel	<a href="#">(11)</a>	<a href="#">(8)</a>	S
Residence Hotel	<a href="#">(12)</a>		S
Motel	<a href="#">(13)</a>		S
Private Sports Court with Standalone or Dedicated Lighting	<a href="#">(22)</a>	<a href="#">(18)</a>	P
<b>INSTITUTIONAL AND COMMUNITY SERVICE LAND USES</b>	2.02(C)	2.03(C)	
Assisted Living Facility	<a href="#">(1)</a>	<a href="#">(1)</a>	S
Blood Plasma Donor Center	<a href="#">(2)</a>		P
Cemetery/Mausoleum	<a href="#">(3)</a>		P
Church/House of Worship	<a href="#">(4)</a>	<a href="#">(2)</a>	S
Convalescent Care Facility/Nursing Home	<a href="#">(6)</a>		P
Congregate Care Facility/Elderly Housing	<a href="#">(7)</a>	<a href="#">(3)</a>	S
Daycare with Seven (7) or More Children	<a href="#">(9)</a>	<a href="#">(4)</a>	P
Emergency Ground Ambulance Services	<a href="#">(10)</a>		P
Group or Community Home	<a href="#">(11)</a>	<a href="#">(5)</a>	P
Government Facility	<a href="#">(12)</a>		P
Hospice	<a href="#">(14)</a>		P
Hospital	<a href="#">(15)</a>		P
Public Library, Art Gallery or Museum	<a href="#">(16)</a>		P
Mortuary or Funeral Chapel	<a href="#">(17)</a>		P
Local Post Office	<a href="#">(18)</a>		P
Public or Private Primary School	<a href="#">(21)</a>	<a href="#">(7)</a>	P
Public or Private Secondary School	<a href="#">(22)</a>	<a href="#">(8)</a>	P
Temporary Education Building for a Public or Private School	<a href="#">(23)</a>	<a href="#">(9)</a>	S
Trade School	<a href="#">(24)</a>		S
Social Service Provider ( <i>Except Rescue Mission or Homeless Shelter</i> )	<a href="#">(26)</a>		S
<b>OFFICE AND PROFESSIONAL LAND USES</b>	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Financial Institution without Drive-Through	<a href="#">(1)</a>		P

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# PERMITTED LAND USES IN A GENERAL RETAIL (GR) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a> ]	GENERAL RETAIL (GR) DISTRICT
Office or Medical Office Building less than 5,000 SF	<a href="#">(2)</a> & <a href="#">(3)</a>		P
Office or Medical Office Building 5,000 SF or Greater	<a href="#">(2)</a> & <a href="#">(3)</a>		P
<b>RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES</b>	2.02(E)	2.03(E)	
Temporary Carnival, Circus, or Amusement Ride	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Indoor Commercial Amusement/Recreation	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Outdoor Commercial Amusement/Recreation	<a href="#">(3)</a>	<a href="#">(3)</a>	S
Public or Private Community or Recreation Club as an Accessory Use	<a href="#">(4)</a>		P
Private Country Club	<a href="#">(5)</a>		S
Golf Driving Range	<a href="#">(6)</a>		S
Temporary Fundraising Events by Non-Profit	<a href="#">(7)</a>	<a href="#">(4)</a>	P
Indoor Gun Club with Skeet or Target Range	<a href="#">(8)</a>	<a href="#">(5)</a>	S
Health Club or Gym	<a href="#">(9)</a>		P
Private Club, Lodge or Fraternal Organization	<a href="#">(10)</a>	<a href="#">(6)</a>	S
Public Park or Playground	<a href="#">(12)</a>		P
Tennis Courts ( <i>i.e. Not Accessory to a Public or Private Country Club</i> )	<a href="#">(14)</a>		S
Theater	<a href="#">(15)</a>		S
<b>RETAIL AND PERSONAL SERVICES LAND USES</b>	2.02(F)	2.03(F)	
Alcoholic Beverage Package Sales	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Antique/Collectible Store	<a href="#">(3)</a>		P
Astrologer, Hypnotist, or Psychic	<a href="#">(4)</a>		P
Banquet Facility/Event Hall	<a href="#">(5)</a>		P
Portable Beverage Service Facility	<a href="#">(6)</a>	<a href="#">(3)</a>	S
Brew Pub	<a href="#">(7)</a>		P
Business School	<a href="#">(8)</a>		P
Catering Service	<a href="#">(9)</a>		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	<a href="#">(10)</a>	<a href="#">(4)</a>	P
Copy Center	<a href="#">(11)</a>		P
Craft/Micro Brewery, Distillery and/or Winery	<a href="#">(12)</a>	<a href="#">(5)</a>	S
Incidental Display	<a href="#">(13)</a>	<a href="#">(6)</a>	P
Food Trucks/Trailers	<a href="#">(14)</a>	<a href="#">(7)</a>	P
Garden Supply/Plant Nursery	<a href="#">(15)</a>		P
General Personal Service	<a href="#">(16)</a>	<a href="#">(8)</a>	P
General Retail Store	<a href="#">(17)</a>		P
Hair Salon and/or Manicurist	<a href="#">(18)</a>		P
Laundromat with Dropoff/Pickup Services	<a href="#">(19)</a>		P
Self Service Laundromat	<a href="#">(20)</a>		P
Massage Therapist	<a href="#">(21)</a>		P
Private Museum or Art Gallery	<a href="#">(22)</a>		P
Night Club, Discotheque, or Dance Hall	<a href="#">(23)</a>		S
Permanent Cosmetics	<a href="#">(25)</a>	<a href="#">(9)</a>	A

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Pet Shop	<a href="#">(26)</a>		P
Temporary Real Estate Sales Office	<a href="#">(27)</a>		P
Rental Store without Outside Storage and/or Display	<a href="#">(28)</a>	<a href="#">(10)</a>	S
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	<a href="#">(29)</a>	<a href="#">(11)</a>	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	<a href="#">(30)</a>		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	<a href="#">(29)</a>	<a href="#">(12)</a>	S
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	<a href="#">(30)</a>		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers ( <i>i.e. a Maximum of Four [4] Vehicles</i> )	<a href="#">(31)</a>	<a href="#">(13)</a>	P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	<a href="#">(32)</a>	<a href="#">(13)</a>	S
Secondhand Dealer	<a href="#">(33)</a>		P
Art, Photography, or Music Studio	<a href="#">(33)</a>		P
Tailor, Clothing, and/or Apparel Shop	<a href="#">(34)</a>		P
<b>COMMERCIAL AND BUSINESS SERVICES LAND USES</b>	<b>2.02(G)</b>	<b>2.03(G)</b>	
Electrical, Watch, Clock, Jewelry and/or Similar Repair	<a href="#">(6)</a>		P
Locksmith	<a href="#">(11)</a>		P
Shoe and Boot Repair and Sales	<a href="#">(16)</a>		P
Temporary On-Site Construction Office	<a href="#">(18)</a>	<a href="#">(6)</a>	P
<b>AUTO AND MARINE RELATED LAND USES</b>	<b>2.02(H)</b>	<b>2.03(H)</b>	
Minor Auto Repair Garage	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Full Service Car Wash and Auto Detail	<a href="#">(5)</a>	<a href="#">(4)</a>	S
Self Service Car Wash	<a href="#">(5)</a>	<a href="#">(4)</a>	S
Non-Commercial Parking Lot	<a href="#">(9)</a>		P
Service Station	<a href="#">(11)</a>	<a href="#">(8)</a>	P
<b>INDUSTRIAL AND MANUFACTURING LAND USES</b>	<b>2.02(I)</b>	<b>2.03(I)</b>	
Temporary Asphalt or Concrete Batch Plant	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Mining and Extraction of Sand, Gravel, Oil and/or Other Materials)	<a href="#">(12)</a>	<a href="#">(5)</a>	S
<b>UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES</b>	<b>2.02(K)</b>	<b>2.03(K)</b>	
Antenna for an Amateur Radio	<a href="#">(3)</a>	<a href="#">(2)</a>	A
Antenna Dish	<a href="#">(4)</a>	<a href="#">(3)</a>	A
Freestanding Commercial Antenna ( <i>i.e. Monopole or a Similar Structure</i> )	<a href="#">(5)</a>	<a href="#">(4)</a>	P
Mounted or Attached Commercial Antenna	<a href="#">(6)</a>	<a href="#">(5)</a>	P
Helipad	<a href="#">(9)</a>		S
Utilities ( <i>Non-Municipally Owned or Controlled</i> ), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	<a href="#">(10)</a>		S
Municipally Owned or Controlled Facilities, Utilities and Uses ( <i>Includes Utilities with a Franchise Utility Agreement with the City of Rockwall</i> )	<a href="#">(11)</a>		P
Private Streets	<a href="#">(12)</a>		S
Radio Broadcasting	<a href="#">(13)</a>		P
Railroad Yard or Shop	<a href="#">(14)</a>		S
Recording Studio	<a href="#">(15)</a>		S

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## PERMITTED LAND USES IN A GENERAL RETAIL (GR) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13,</a> <a href="#">Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04,</a> <a href="#">Permissible Uses</a> ]	GENERAL RETAIL (GR) DISTRICT
Satellite Dish	<a href="#">(16)</a>		A
Solar Energy Collector Panels and Systems	<a href="#">(17)</a>	<a href="#">(7)</a>	A
Transit Passenger Facility	<a href="#">(18)</a>		S
TV Broadcasting and Other Communication Service	<a href="#">(20)</a>		S
Utilities Holding a Franchise from the City of Rockwall	<a href="#">(21)</a>		S
Utility Installation Other than Listed	<a href="#">(22)</a>		S
Utility/Transmission Lines	<a href="#">(23)</a>		S

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# PERMITTED LAND USES IN A COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference <a href="#">Article 13, Definitions</a> ]	CONDITIONAL USE REFERENCE Reference <a href="#">Article 04, Permissible Uses</a> ]	COMMERCIAL (C) DISTRICT
<b>AGRICULTURAL AND ANIMAL RELATED LAND USES</b>	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	<a href="#">(1)</a>		P
Animal Boarding/Kennel without Outside Pens	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Animal Clinic for Small Animals without Outdoor Pens	<a href="#">(3)</a>	<a href="#">(3)</a>	P
Animal Hospital or Clinic	<a href="#">(4)</a>		S
Community Garden	<a href="#">(11)</a>	<a href="#">(7)</a>	S
Urban Farm	<a href="#">(12)</a>	<a href="#">(8)</a>	S
<b>RESIDENTIAL AND LODGING LAND USES</b>	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	<a href="#">(3)</a>		P
Convent, Monastery, or Temple	<a href="#">(4)</a>		P
Commercial Parking Garage	<a href="#">(6)</a>		A
Limited-Service Hotel	<a href="#">(10)</a>		S
Full-Service Hotel	<a href="#">(11)</a>	<a href="#">(8)</a>	S
Residence Hotel	<a href="#">(12)</a>		S
Motel	<a href="#">(13)</a>		S
Private Sports Court with Standalone or Dedicated Lighting	<a href="#">(22)</a>	<a href="#">(18)</a>	P
<b>INSTITUTIONAL AND COMMUNITY SERVICE LAND USES</b>	2.02(C)	2.03(C)	
Assisted Living Facility	<a href="#">(1)</a>	<a href="#">(1)</a>	S
Blood Plasma Donor Center	<a href="#">(2)</a>		P
Cemetery/Mausoleum	<a href="#">(3)</a>		P
Church/House of Worship	<a href="#">(4)</a>	<a href="#">(2)</a>	S
College, University, or Seminary	<a href="#">(5)</a>		S
Convalescent Care Facility/Nursing Home	<a href="#">(6)</a>		P
Congregate Care Facility/Elderly Housing	<a href="#">(7)</a>	<a href="#">(3)</a>	S
Daycare with Seven (7) or More Children	<a href="#">(9)</a>	<a href="#">(4)</a>	P
Emergency Ground Ambulance Services	<a href="#">(10)</a>		P
Government Facility	<a href="#">(12)</a>		P
Hospice	<a href="#">(14)</a>		P
Hospital	<a href="#">(15)</a>		P
Public Library, Art Gallery or Museum	<a href="#">(16)</a>		P
Mortuary or Funeral Chapel	<a href="#">(17)</a>		P
Local Post Office	<a href="#">(18)</a>		P
Public or Private Primary School	<a href="#">(21)</a>	<a href="#">(7)</a>	P
Public or Private Secondary School	<a href="#">(22)</a>	<a href="#">(8)</a>	P
Temporary Education Building for a Public or Private School	<a href="#">(23)</a>	<a href="#">(9)</a>	S
Trade School	<a href="#">(24)</a>		P
<b>OFFICE AND PROFESSIONAL LAND USES</b>	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Financial Institution without Drive-Through	<a href="#">(1)</a>		P
Office or Medical Office Building less than 5,000 SF	<a href="#">(2)</a> & <a href="#">(3)</a>		P

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Office or Medical Office Building 5,000 SF or Greater	<a href="#">(2) &amp; (3)</a>		P
<b>RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES</b>	<b>2.02(E)</b>	<b>2.03(E)</b>	
Temporary Carnival, Circus, or Amusement Ride	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Indoor Commercial Amusement/Recreation	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Outdoor Commercial Amusement/Recreation	<a href="#">(3)</a>	<a href="#">(3)</a>	S
Public or Private Community or Recreation Club as an Accessory Use	<a href="#">(4)</a>		P
Private Country Club	<a href="#">(5)</a>		S
Golf Driving Range	<a href="#">(6)</a>		S
Temporary Fundraising Events by Non-Profit	<a href="#">(7)</a>	<a href="#">(4)</a>	P
Indoor Gun Club with Skeet or Target Range	<a href="#">(8)</a>	<a href="#">(5)</a>	P
Health Club or Gym	<a href="#">(9)</a>		P
Private Club, Lodge or Fraternal Organization	<a href="#">(10)</a>	<a href="#">(6)</a>	P
Private Sports Arena, Stadium, and/or Track	<a href="#">(11)</a>		S
Public Park or Playground	<a href="#">(12)</a>		P
Tennis Courts ( <i>i.e. Not Accessory to a Public or Private Country Club</i> )	<a href="#">(14)</a>		S
Theater	<a href="#">(15)</a>		P
<b>RETAIL AND PERSONAL SERVICES LAND USES</b>	<b>2.02(F)</b>	<b>2.03(F)</b>	
Alcoholic Beverage Package Sales	<a href="#">(1)</a>	<a href="#">(1)</a>	P
Alcoholic Beverage Store	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Antique/Collectible Store	<a href="#">(3)</a>		P
Astrologer, Hypnotist, or Psychic	<a href="#">(4)</a>		P
Banquet Facility/Event Hall	<a href="#">(5)</a>		P
Portable Beverage Service Facility	<a href="#">(6)</a>	<a href="#">(3)</a>	S
Brew Pub	<a href="#">(7)</a>		P
Business School	<a href="#">(8)</a>		P
Catering Service	<a href="#">(9)</a>		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	<a href="#">(10)</a>	<a href="#">(4)</a>	P
Copy Center	<a href="#">(11)</a>		P
Craft/Micro Brewery, Distillery and/or Winery	<a href="#">(12)</a>	<a href="#">(5)</a>	S
Incidental Display	<a href="#">(13)</a>	<a href="#">(6)</a>	P
Food Trucks/Trailers	<a href="#">(14)</a>	<a href="#">(7)</a>	P
Garden Supply/Plant Nursery	<a href="#">(15)</a>		P
General Personal Service	<a href="#">(16)</a>	<a href="#">(8)</a>	P
General Retail Store	<a href="#">(17)</a>		P
Hair Salon and/or Manicurist	<a href="#">(18)</a>		P
Laundromat with Dropoff/Pickup Services	<a href="#">(19)</a>		P
Self Service Laundromat	<a href="#">(20)</a>		P
Massage Therapist	<a href="#">(21)</a>		P
Private Museum or Art Gallery	<a href="#">(22)</a>		P
Night Club, Discotheque, or Dance Hall	<a href="#">(23)</a>		P

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Pawn Shop	<a href="#">(24)</a>		S
Permanent Cosmetics	<a href="#">(25)</a>	<a href="#">(9)</a>	A
Pet Shop	<a href="#">(26)</a>		P
Temporary Real Estate Sales Office	<a href="#">(27)</a>		P
Rental Store without Outside Storage and/or Display	<a href="#">(28)</a>	<a href="#">(10)</a>	P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	<a href="#">(29)</a>	<a href="#">(11)</a>	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	<a href="#">(30)</a>		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	<a href="#">(29)</a>	<a href="#">(12)</a>	P
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	<a href="#">(30)</a>		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers ( <i>i.e. a Maximum of Four [4] Vehicles</i> )	<a href="#">(31)</a>	<a href="#">(13)</a>	P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	<a href="#">(32)</a>	<a href="#">(13)</a>	P
Secondhand Dealer	<a href="#">(33)</a>		P
Art, Photography, or Music Studio	<a href="#">(33)</a>		P
Tailor, Clothing, and/or Apparel Shop	<a href="#">(34)</a>		P
<b>COMMERCIAL AND BUSINESS SERVICES LAND USES</b>	<b>2.02(G)</b>	<b>2.03(G)</b>	
Bail Bond Service	<a href="#">(1)</a>		S
Building and Landscape Material with Limited Outside Storage	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Building Maintenance, Service, and Sales without Outside Storage	<a href="#">(3)</a>		P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	<a href="#">(6)</a>		P
Furniture Upholstery/Refinishing and Resale	<a href="#">(8)</a>	<a href="#">(4)</a>	S
Heavy Machinery and Equipment Rental, Sales, and Service	<a href="#">(10)</a>	<a href="#">(5)</a>	S
Locksmith	<a href="#">(11)</a>		P
Research and Technology or Light Assembly	<a href="#">(15)</a>		S
Shoe and Boot Repair and Sales	<a href="#">(16)</a>		P
Temporary On-Site Construction Office	<a href="#">(18)</a>	<a href="#">(6)</a>	P
<b>AUTO AND MARINE RELATED LAND USES</b>	<b>2.02(H)</b>	<b>2.03(H)</b>	
Minor Auto Repair Garage	<a href="#">(2)</a>	<a href="#">(2)</a>	S
Automobile Rental	<a href="#">(3)</a>		S
New or Used Boat and Trailer Dealership	<a href="#">(4)</a>	<a href="#">(3)</a>	S
Full Service Car Wash and Auto Detail	<a href="#">(5)</a>	<a href="#">(4)</a>	P
Self Service Car Wash	<a href="#">(5)</a>	<a href="#">(4)</a>	P
New and/or Used Indoor Motor Vehicle Dealership/Showroom	<a href="#">(6)</a>	<a href="#">(5)</a>	S
New Motor Vehicle Dealership-for Cars and Light Trucks	<a href="#">(7)</a>	<a href="#">(6)</a>	S
Used Motor Vehicle Dealership for Cars and Light Trucks)	<a href="#">(7)</a>	<a href="#">(7)</a>	A
Commercial Parking	<a href="#">(8)</a>		P
Non-Commercial Parking Lot	<a href="#">(9)</a>		P
Recreational Vehicle (RV) Sales and Service	<a href="#">(10)</a>		S
Service Station	<a href="#">(11)</a>	<a href="#">(8)</a>	P
<b>INDUSTRIAL AND MANUFACTURING LAND USES</b>	<b>2.02(I)</b>	<b>2.03(I)</b>	

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Temporary Asphalt or Concrete Batch Plant	<a href="#">(2)</a>	<a href="#">(2)</a>	P
Mining and Extraction of Sand, Gravel, Oil and/or Other Materials	<a href="#">(12)</a>	<a href="#">(5)</a>	S
<b>WHOLESALE, DISTRIBUTION AND STORAGE LAND USES</b>	<b>2.02(J)</b>	<b>2.03(J)</b>	
Mini-Warehouse	<a href="#">(4)</a>	<a href="#">(1)</a>	S
Wholesale Showroom Facility	<a href="#">(8)</a>		S
<b>UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES</b>	<b>2.02(K)</b>	<b>2.03(K)</b>	
Antenna for an Amateur Radio	<a href="#">(3)</a>	<a href="#">(2)</a>	A
Antenna Dish	<a href="#">(4)</a>	<a href="#">(3)</a>	A
Freestanding Commercial Antenna ( <i>i.e. Monopole or a Similar Structure</i> )	<a href="#">(5)</a>	<a href="#">(4)</a>	P
Mounted or Attached Commercial Antenna	<a href="#">(6)</a>	<a href="#">(5)</a>	P
Commercial Drone Delivery Hub	<a href="#">(8)</a>	<a href="#">(6)</a>	S
Helipad	<a href="#">(9)</a>		S
Utilities ( <i>Non-Municipally Owned or Controlled</i> ), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	<a href="#">(10)</a>		S
Municipally Owned or Controlled Facilities, Utilities and Uses ( <i>Includes Utilities with a Franchise Utility Agreement with the City of Rockwall</i> )	<a href="#">(11)</a>		P
Private Streets	<a href="#">(12)</a>		S
Radio Broadcasting	<a href="#">(13)</a>		P
Railroad Yard or Shop	<a href="#">(14)</a>		S
Recording Studio	<a href="#">(15)</a>		P
Satellite Dish	<a href="#">(16)</a>		A
Solar Energy Collector Panels and Systems	<a href="#">(17)</a>	<a href="#">(7)</a>	A
Transit Passenger Facility	<a href="#">(18)</a>		S
TV Broadcasting and Other Communication Service	<a href="#">(20)</a>		S
Utilities Holding a Franchise from the City of Rockwall	<a href="#">(21)</a>		S
Utility Installation Other than Listed	<a href="#">(22)</a>		S
Utility/Transmission Lines	<a href="#">(23)</a>		S

● COMMERCIAL/RETAIL (CR)

The *Commercial/Retail* land use category is characterized by single to multi-tenant commercial retail centers along major arterials at key intersections. These areas are typically considered to be convenience shopping centers and service adjacent residential subdivisions. Zoning in conformance with the Commercial/Retail land uses category can be incorporated into a Planned Development (PD) District as part of a larger mix-use master planned community, and may vary in size depending on the adjacent service area. In certain cases where commercial land uses are eminent, it may be appropriate to incorporate zoning in conformance to the Commercial land use category on all four (4) corners of an intersection; however, this is not necessary in all cases. These areas should be designed with the pedestrian in mind, and provide connections between the commercial land use and the adjacent residential subdivision.

**DESIGNATION CHARACTERISTICS**

- 1 Primary Land Uses: Commercial Retail Buildings, Restaurants/Brew Pubs, Multi-Tenant Commercial Centers, Neighborhood Centers and Convenience Centers
- 2 Secondary Land Uses: Office/Financial Institutions, Parks, Open Space, and Institutional/Civic Land Uses
- 3 Zoning Districts: Neighborhood Services (NS) District, General Retail (GR) District, Commercial (C) District and certain mixed-use Planned Development (PD) Districts

**EXISTING LAND USE EXAMPLES**

- 1 Shops at Stone Creek
- 2 Corner of the Intersection of N. Lakeshore Drive and N. Goliad Street [SH-205]
- 3 Walmart Neighborhood Market Shopping Center



● COMMERCIAL/INDUSTRIAL (CI)

The *Commercial/Industrial* land use category typically is characterized by smaller business and industrial land uses that are focused around assembly, manufacturing and fabrication. This designation may also accommodate land uses that require outside storage. These areas are also appropriate for small business and business incubator arrangements. Land uses under this designation should be heavily screened by landscaping and should be separated from other land uses using large buffers and roadways. These areas are not appropriate adjacent to residential land use designations and should be separated from these areas using transitional land uses.

**DESIGNATION CHARACTERISTICS**

- 1 Primary Land Uses: Small Scale Manufacturing, Assembly, and Fabrication Businesses, Business Incubators, Contractors Shops, and Heavy Equipment/Truck Rental Businesses
- 2 Secondary Land Uses: Warehouse and Outside Storage
- 3 Zoning Districts: Heavy Commercial (HC) District and Heavy Industrial (HI) District

**EXISTING LAND USE EXAMPLES**

- 1 Areas Adjacent to National Drive
- 2 Areas Adjacent to Sids Road

● BUSINESS CENTERS (BC)

The Business Center land use designation is intended to provide areas with a variety of employment options. While focusing on employment land uses, these areas may also incorporate limited supporting land uses (e.g. *restaurants and commercial-retail*) that complement the primary land uses. These areas should be designed with public amenities and greenspaces, increased landscaping, and unique design features that will help create a sense of place.

**DESIGNATION CHARACTERISTICS**

- 1 Primary Land Uses: Professional Offices, Corporate Offices, General Offices, Institutional Land Uses, Research and Design/Development Businesses, and Technology/Data Centers.
- 2 Secondary Land Uses: Supporting Restaurants and Commercial-Retail Land Uses, Hotels, Parks, Open Space and Civic Uses
- 3 Zoning Districts: Commercial (C) District, Light Industrial (LI) District, and Planned Development (PD) Districts

**EXISTING LAND USE EXAMPLES**

- 1 Trend Tower

# 18 SOUTHWEST RESIDENTIAL DISTRICT

## DISTRICT DESCRIPTION

The *Southwest Residential District* contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. *National Drive, Sids Road, and Mims Road*) and commercial land uses. In the future, this district is expected to continue to function as it does today with additional low-density master planned communities filling in the vacant land remaining in the central and southern areas of the district. In addition, the areas that are in transition are expected to continue to improve adding additional value to the City.

## DISTRICT STRATEGIES

The strategies for the *Southwest Residential District* are as follows:

**1 Suburban Residential.** This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

**2 Commercial/Industrial Land Uses.** The areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for *Commercial/Industrial* land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. *residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas.

**3 Transitional Areas.** The areas designated as *Transitional Areas* are currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties; however, the City should look to continue to discourage uses and structures that are situated within established floodplains.

**4 Intersection of SH-276 and S. Goliad Street (Sids Road and S. Goliad Street).** The intersection at Sids Road and S. Goliad Street [SH-205] -- also identified as the future intersection of SH-276 and S. Goliad Street -- is anticipated to be a major commercial intersection due to the high traffic volumes carried by both SH-276 and S. Goliad Street [SH-205]. This intersection will most likely have commercial at all four (4) corners and will create a major node along both highways.



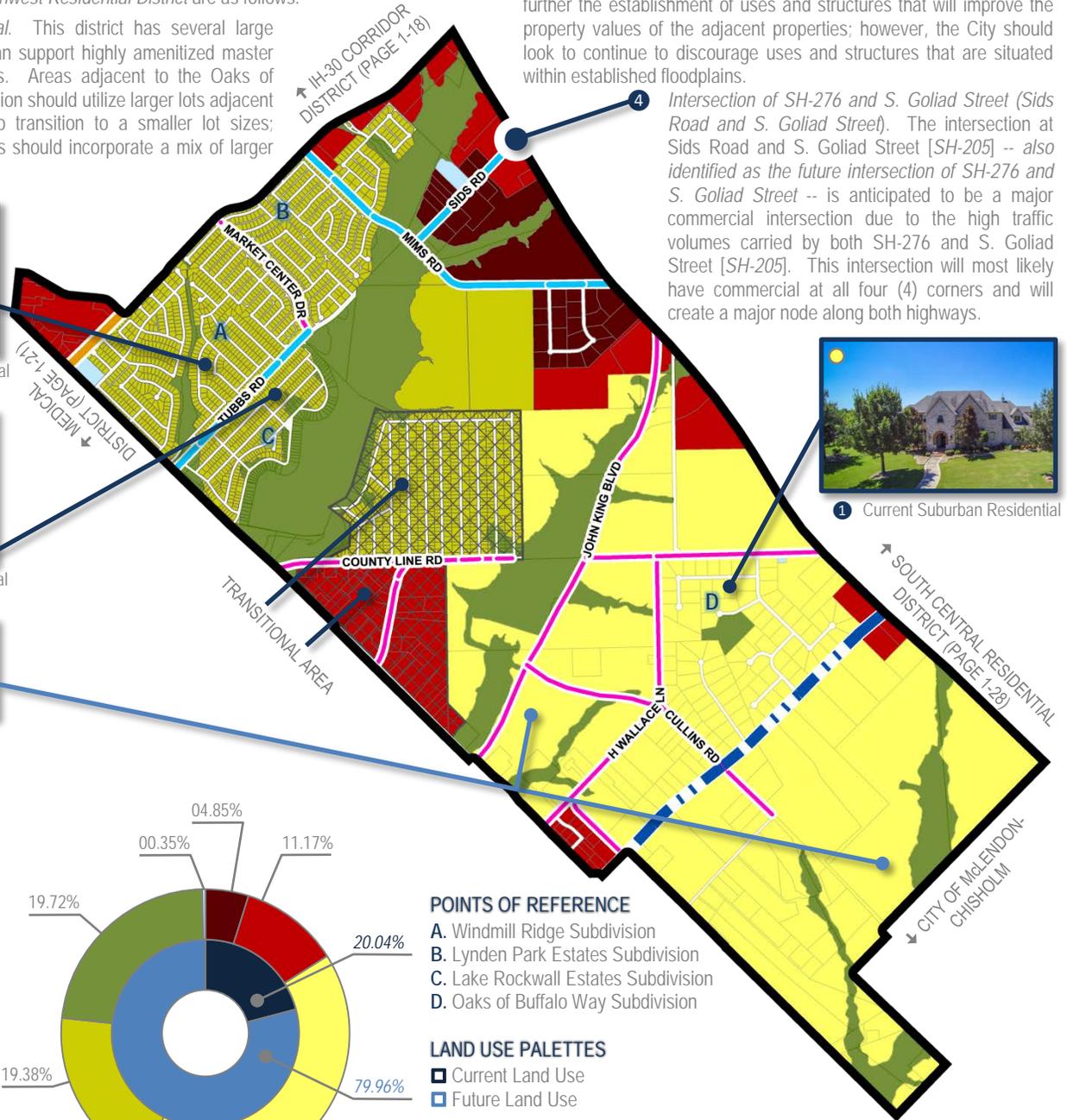
1 Current Suburban Residential



1 Current Suburban Residential

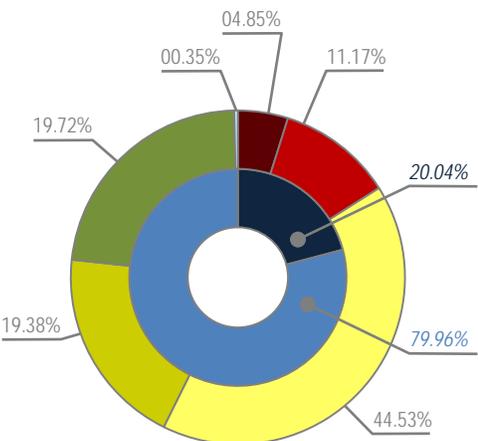


1 Future Suburban Residential



1 Current Suburban Residential

BUILD OUT		4,251
		14,108
% OF ROCKWALL		10.95%
		10.34%
		12.49%
CURRENT		2,190
		188
		7,437



### POINTS OF REFERENCE

- A. Windmill Ridge Subdivision
- B. Lynden Park Estates Subdivision
- C. Lake Rockwall Estates Subdivision
- D. Oaks of Buffalo Way Subdivision

### LAND USE PALETTES

- Current Land Use
- Future Land Use

	COMMERCIAL/INDUSTRIAL (CI)	120.50-ACRES
	COMMERCIAL/RETAIL (CR)	277.44-ACRES
	LOW DENSITY RESIDENTIAL (LDR)	1,106.20-ACRES
	MEDIUM DENSITY RESIDENTIAL (MDR)	481.39-ACRES
	PARKS AND OPEN SPACE (OS)	489.99-ACRES
	QUASI-PUBLIC (QP)	8.67-ACRES

	COMMERCIAL	20.04%
	RESIDENTIAL	79.96%
	MIXED USE	0.00%
	MINOR COLLECTOR	
	M4D	
	M4U	
	TXDOT 4D	

CITY OF ROCKWALL

ORDINANCE NO. 26-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT AND A COMMERCIAL (C) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR GENERAL RETAIL (GR) DISTRICT AND COMMERCIAL (C) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 15.601-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2 OF THE J. R. JOHNSON SURVEY, ABSTRACT NO. 128, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by James Martin of Gardner Land Holdings LLC on behalf of Bart Gardner of Gardner Land Holdings, LLC for the approval of a zoning change from an Agricultural (AG) District and Commercial (C) District to a Planned Development District for General Retail (GR) District and Commercial (C) District land uses, on a 15.601-acre tract of land identified as Tract 2 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located at the northwest corner of S. Goliad Street [SH-205] and Lofland Circle, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

**SECTION 4.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 6.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2<sup>ND</sup> DAY OF FEBRUARY, 2026.**

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: January 20, 2026

2<sup>nd</sup> Reading: February 2, 2026

**Exhibit 'A':**  
*Legal Description*

**BEING** a 15.601-acre tract of land situated in the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, being all of Miller Family Investments, LP, record in Instrument Number 2008-00408220, Deed Records Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

**BEGINNING** at a ½ inch iron rod found for corner in the most northerly corner of said Miller tract, same an interior corner of Layza and Luna Real Estate, LLC, recorded in Instrument Number 20220000001115, Deed Record Rockwall County, Texas, also being a point in the most westerly Right-of-Way line of Goliad Street (variable width Right-of-Way), from which a ½ inch rod found bears, North 43 degrees 32 minutes 03 seconds West, 40.00 feet;

**Thence** South 43 degrees 32 minutes 03 seconds East, along the most northeasterly line of said Miller tract, a distance of 679.48 feet to a "60D" Nail found for corner in the most northeasterly corner of said Miller tract, same being the most northerly corner of Qualico Developments (U.S.), Inc., recorded in Instrument Number 20250000002120, Deed Records Rockwall County, Texas;

**Thence** South 00 degrees 01 minutes 38 seconds East, departing from said Goliad Street in a southerly direction, a distance of 451.70 feet to a "Mag" Nail found for corner in the most southeasterly corner of said Miller tract, same being a point in the most westerly line of said Qualico tract, also being the most northeasterly corner of Frank Forest, recorded in Volume 2664, Page 159, Deed Records Rockwall County, Texas;

**Thence** over, across, and upon said Miller tract the following three (3) courses and distances:

South 87 degrees 56 minutes 04 seconds West, a distance of 537.08 feet to a capped ½ inch iron rod stamped "RPLS 5034" found for corner;

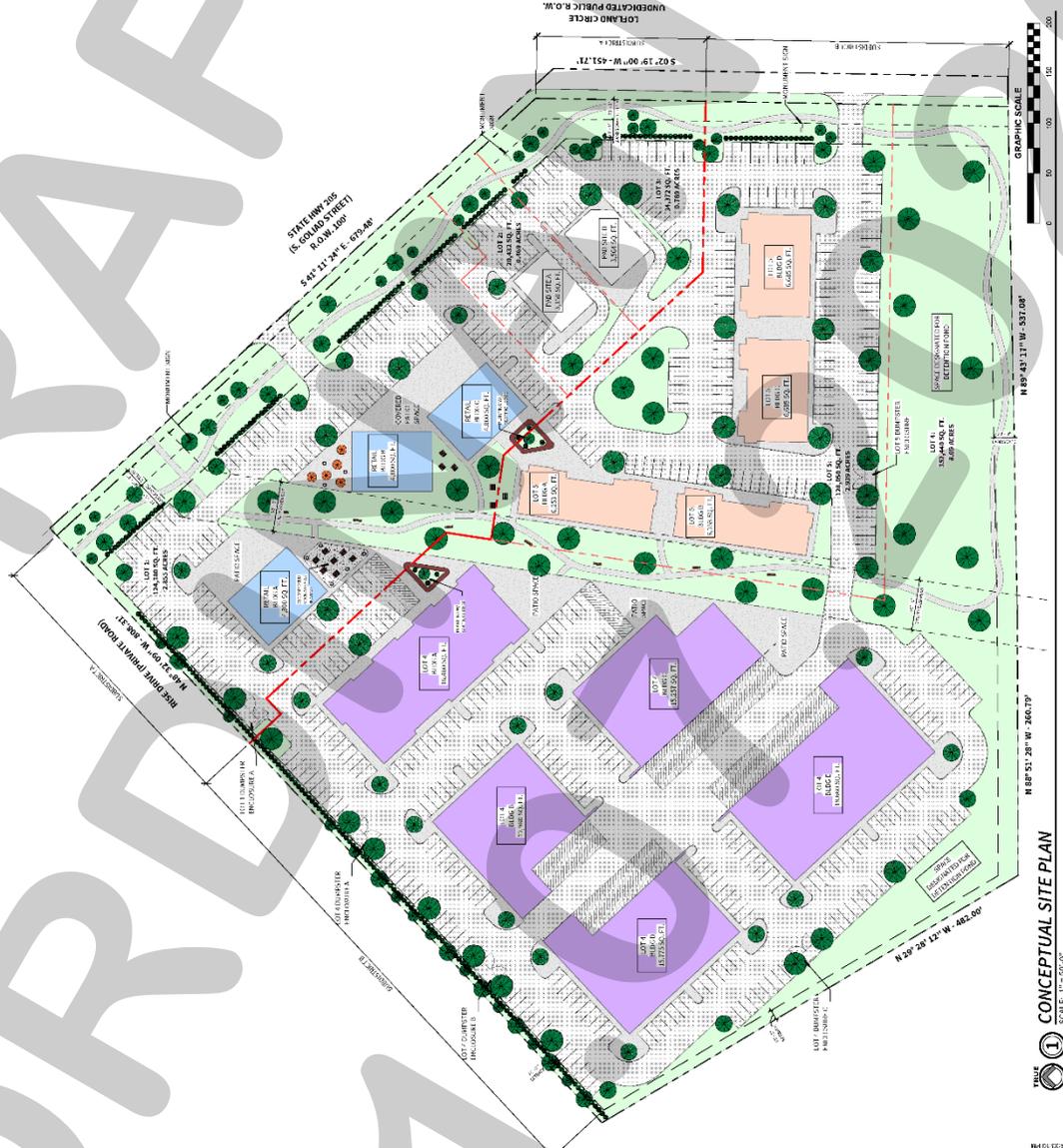
South 88 degrees 47 minutes 43 seconds West, a distance of 260.79 feet to a ½ inch iron rod found for corner;

North 31 degrees 48 minutes 51 seconds West, a distance of 482.00 feet to a ½ inch iron rod found for corner in the most westerly corner of said Miller tract, also being an interior corner of said Layza and Luna tract;

**Thence** North 46 degrees 11 minutes 30 seconds East, along the most northwesterly line of said Miller tract, a distance of 808.31 feet to the **POINT OF BEGINNING** and containing 15.601 acres (679,586 sq. ft.) of land, more or less.

Exhibit 'B':  
Concept Plan

MATERIAL LEGEND	
	PROPOSED PAVED AREAS
	PROPOSED ASPHALT PAVING
	PROPOSED CONCRETE PAVING
	PROPOSED GREEN SPACE
	PROPOSED STRUCTURE
	PROPOSED UTILITY
	PROPOSED STORMWATER MANAGEMENT
	PROPOSED LANDSCAPING
	PROPOSED ACCESSORY STRUCTURE
	PROPOSED LOT BOUNDARIES



CONCEPTUAL SITE PLAN  
SCALE: 1" = 200'

**Exhibit 'C':**  
*Conceptual Building Renderings*



**Exhibit 'C':**  
*Conceptual Building Renderings*



**Exhibit 'D':**  
*Density and Development Standards*

**C.1 REVIEW PROCESS.**

The subject property shall be generally developed in accordance with the *Concept Plan* contained in *Exhibit 'B'* of this ordinance and in conformance with the procedures contained in Article 10, *Planned Development Regulations*, and Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC); however, the Director of Planning and Zoning may require/the property owner may request a *PD Development Plan* where a development request departs from the intent of this *Concept Plan*. A *PD Development Plan* constitutes an amendment to the approved *Concept Plan* and Planned Development District ordinance, and shall follow the same review and approval process as the establishment of a Planned Development District.

**C.2 PLANNED DEVELOPMENT DISTRICT STANDARDS.**

The *Subject Property* shall be divided into three (3) *Subdistricts* as depicted on the *Concept Plan*, contained in *Exhibit 'B'* of this ordinance.

(A) General Standards.

The following general standards shall apply for all *Subdistricts* as depicted on the *Concept Plan* contained in *Exhibit 'B'* of this ordinance.

- (1) Development Standards. Unless otherwise stipulated by this Planned Development District, all buildings on the *Subject Property* shall generally conform to the building material and development standards stipulated by the *General Overlay District Standards* as outline in Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, all buildings on the *Subject Property* shall incorporate complementary architectural styles, materials and colors. The consistency and compatibility of a buildings design shall be reviewed by the Architectural Review Board (ARB) at the time of *Site Plan*.
- (2) General Overlay District Standards. The *Subject Property* shall be required to meet the requirements of the *General Overlay District Standards*, as stipulated by Subsection 06.02, *General Overlay District Standards*, of Article 05, of the Unified Development Code (UDC) [*Ordinance No. 20-02*], unless otherwise stipulated by this *Ordinance*.
- (3) Landscape Buffers. All landscape buffers shall be exclusive of any existing or proposed easements located along public rights-of-way and shall be provided as follows:
  - (a) Landscape Buffer Adjacent to S. Goliad Street [SH-205]. A minimum of a 30-foot landscape buffer shall be provided along the frontage of S. Goliad Street [SH-205] (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall each have a minimum height 30-inches and may be non-continuous and undulating. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-linear feet

**Exhibit 'D':**  
*Density and Development Standards*

of frontage. A meandering/curvilinear six (6) foot hike/bike trail shall be constructed within the 30-foot landscape buffer.

- (b) Landscape Buffer Adjacent to Lofland Circle. A minimum of a 20-foot landscape buffer shall be provided along the frontage of Lofland Circle (*outside of and beyond any required right-of-way*), and shall incorporate ground cover, a built-up undulating berm, and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height 30-inches and may be non-continuous and undulating. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering/curvilinear six (6) foot hike/bike trail shall be constructed within the 20-foot landscape buffer.
- (c) Landscape Buffer Adjacent to the Southern Property Line. A minimum of a 20-foot landscape buffer shall be provided along the southern property line, and shall incorporate a berm with three (3) tiered landscaping (*i.e. one (1) row of canopy trees, one (1) row of accent trees, and one (1) row of shrubs*).
- (4) Dumpster Enclosure. Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum eight (8) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. Dumpster storage should be located to the rear of the buildings with proper access. Trash dumpster shall not be located in any required parking space and shall allow proper access by service trucks. The minimum enclosure area shall be 12-feet by 10-feet. A minimum of 6-inch bollards will be required at potential impact zones and the pad site shall be paved to city standards.
- (5) Open Space. Benches, trash receptacles, and similar amenities shall be provided throughout the Planned Development District. At the time of Site Plan, the applicant will be required to provide specification sheets and indicate the location of each bench, trash receptacle, and/or similar amenity.
- (6) Decorative Plantings. Decorative planters, ornamental beds, and façade plantings shall be provided throughout the Planned Development District. This will be reviewed on the Landscape Plan at the time of Site Plan.
- (7) Utility Placement. All overhead utilities shall be placed underground.
- (8) VariANCES/Exceptions. Variances and exceptions to the requirements of this ordinance shall be submitted and approved in accordance with the process and procedures set forth in Article 11, *Development Applications and Review procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

(B) SUBDISTRICT A.

- (1) Permitted Uses. Unless specifically provided for by this Planned Development District ordinance, *Subdistrict A -- as depicted in the Concept Plan contained in Exhibit 'B' of this ordinance --* shall be subject to the land uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained

**Exhibit 'D':**  
*Density and Development Standards*

in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following shall apply:

(a) The following land uses shall be permitted *By-Right*:

- RESTAURANT WITH 2,000 SF OR MORE WITH DRIVE-THROUGH OR DRIVE-IN

(b) The following land uses shall be expressly *Prohibited*:

- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (*I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB*)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC
- PORTABLE BEVERAGE SERVICE FACILITY
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROPOFF/PICKUP SERVICES
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS <sup>(1)</sup>
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- SECONDHAND DEALER
- BAIL BOND SERVICES
- BUILDING AND LANDSCAPE MATERIAL WITH LIMITED OUTSIDE STORAGE
- BUILDING MAINTENANCE, SERVICE, AND SALES WITHOUT OUTSIDE STORAGE
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE <sup>(2)</sup>
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT
- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE
- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP

**Exhibit 'D':**  
*Density and Development Standards*

- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- USED MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- RECREATIONAL VEHICLE (RV) SALES AND SERVICE
- SERVICE STATION
- TEMPORARY ASPHALT OR CONCRETE BATCH PLANTS
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- WHOLESALE SHOWROOM FACILITY
- COMMERCIAL ANTENNA
- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

NOTES:

- (1): UNLESS ACCESSORY TO A SPA OR HAIR SALON.  
 (2): UNLESS ACCESSORY TO A GENERAL RETAIL STORE.

(2) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict A -- as depicted in the Concept Plan contained in Exhibit 'B' of this ordinance* -- shall be subject to the density and dimensional requirements stipulated for a property in a General Retail (GR) District as required by Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on the *Subject Property* shall conform to the standards depicted in *Table 1*, which are as follows:

TABLE 1: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	6,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK <sup>(1)</sup>	25'
MINIMUM SIDE YARD SETBACK <sup>(2)</sup>	10'
MINIMUM REAR YARD SETBACK <sup>(2)</sup>	10'
MINIMUM BETWEEN BUILDINGS <sup>(2)</sup>	20'
MAXIMUM BUILDING HEIGHT <sup>(3)</sup>	36'
MAXIMUM LOT COVERAGE <sup>(4)</sup>	40%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- <sup>1</sup>: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.  
<sup>2</sup>: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.  
<sup>3</sup>: BUILDING HEIGHT MAY BE INCREASED UP TO 60-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.  
<sup>4</sup>: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

**(C) SUBDISTRICT B.**

**Exhibit 'D':**  
*Density and Development Standards*

(1) Permitted Uses. Unless specifically provided for by this Planned Development District ordinance, *Subdistrict B -- as depicted in the Concept Plan contained in Exhibit 'B' of this ordinance --* shall be subject to the land uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following shall apply:

(a) The following land uses shall be expressly Prohibited:

- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (*I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB*)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC
- PORTABLE BEVERAGE SERVICE FACILITY
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROPOFF/PICKUP SERVICES
- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS <sup>(1)</sup>
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- SECONDHAND DEALER
- BAIL BOND SERVICES
- BUILDING AND LANDSCAPE MATERIAL WITH LIMITED OUTSIDE STORAGE
- BUILDING MAINTENANCE, SERVICE, AND SALES WITHOUT OUTSIDE STORAGE
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE <sup>(2)</sup>
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT
- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE
- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP

**Exhibit 'D':**  
*Density and Development Standards*

- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- USED MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- RECREATIONAL VEHICLE (RV) SALES AND SERVICE
- SERVICE STATION
- TEMPORARY ASPHALT OR CONCRETE BATCH PLANTS
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- WHOLESALE SHOWROOM FACILITY
- COMMERCIAL ANTENNA
- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

NOTES:

(1): UNLESS ACCESSORY TO A SPA OR HAIR SALON.

(2): UNLESS ACCESSORY TO A GENERAL RETAIL STORE.

(3) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict B-- as depicted in the Concept Plan contained in Exhibit 'B' of this ordinance* -- shall be subject to the density and dimensional requirements stipulated for a property in a General Retail (GR) District as required by Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on the *Subject Property* shall conform to the standards depicted in *Table 1*, which are as follows:

TABLE 1: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	6,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK <sup>(1)</sup>	25'
MINIMUM SIDE YARD SETBACK <sup>(2)</sup>	10'
MINIMUM REAR YARD SETBACK <sup>(2)</sup>	10'
MINIMUM BETWEEN BUILDINGS <sup>(2)</sup>	20'
MAXIMUM BUILDING HEIGHT <sup>(3)</sup>	36'
MAXIMUM LOT COVERAGE <sup>(4)</sup>	40%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

<sup>1</sup>: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.

<sup>2</sup>: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.

<sup>3</sup>: BUILDING HEIGHT MAY BE INCREASED UP TO 60-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.

<sup>4</sup>: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

**Exhibit 'D':**  
*Density and Development Standards*

(D) SUBDISTRICT C.

(1) Permitted Uses. Unless specifically provided for by this Planned Development District ordinance, *Subdistrict C -- as depicted in the Concept Plan contained in Exhibit 'B' of this ordinance --* shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following shall apply:

(a) The following land uses shall be permitted By-Right:

- WHOLESALE SHOWROOM FACILITY
- LIGHT ASSEMBLY AND FABRICATION
- OUTSIDE STORAGE AND/OR OUTSIDE DISPLAY <sup>(1)</sup>

NOTES:

<sup>(1)</sup>: ALL OUTSIDE STORAGE IS LIMITED TO CARS AND LIGHT TRUCKS. ALL OUTSIDE STORAGE SHALL MEET THE SCREENING REQUIREMENTS DETAILED IN SUBSECTION (D)(3) OF EXHIBIT 'D' OF THIS ORDINANCE.

(b) The following land uses shall be permitted by Specific Use Permit (SUP):

- LIGHT MANUFACTURING

(c) The following land uses shall be expressly Prohibited:

- AGRICULTURAL USES ON UNPLATTED LAND
- ANIMAL BOARDING/KENNEL WITHOUT OUTSIDE PENS
- ANIMAL HOSPITAL OR CLINIC
- COMMUNITY GARDEN
- URBAN FARM
- CARETAKERS QUARTERS/DOMESTIC OR SECURITY UNIT
- CONVENT, MONASTERY, OR TEMPLE
- MOTEL
- BLOOD PLASMA DONOR CENTER
- CEMETERY/MAUSOLEUM
- CHURCH/HOUSE OF WORSHIP
- COLLEGE, UNIVERSITY, OR SEMINARY
- EMERGENCY GROUND AMBULANCE SERVICES
- HOSPICE
- MORTUARY OR FUNERAL CHAPEL
- LOCAL POST OFFICE
- PUBLIC OR PRIVATE PRIMARY SCHOOL
- PUBLIC OR PRIVATE SECONDARY SCHOOL
- TEMPORARY EDUCATION BUILDINGS FOR PUBLIC OR PRIVATE SCHOOL
- TEMPORARY CARNIVAL, CIRCUS, OR AMUSEMENT RIDE
- INDOOR GUN CLUB WITH SKEET OR TARGET RANGE
- PRIVATE CLUB, LODGE, OR FRATERNAL ORGANIZATION
- TENNIS COURTS (*I.E. NOT ACCESSORY TO A PUBLIC OR PRIVATE COUNTRY CLUB*)
- ASTROLOGER, HYPNOTIST, OR PSYCHIC
- PORTABLE BEVERAGE SERVICE FACILITY
- TEMPORARY CHRISTMAS TREE SALES LOT AND/OR SIMILAR USES
- COPY CENTER
- GARDEN SUPPLY/PLANT NURSERY
- LAUNDROMAT WITH DROPOFF/PICKUP SERVICES

**Exhibit 'D':**  
*Density and Development Standards*

- SELF SERVICE LAUNDROMAT
- NIGHT CLUB, DISCOTHEQUE, OR DANCE HALL
- PAWN SHOP
- PERMANENT COSMETICS <sup>(1)</sup>
- TEMPORARY REAL ESTATE SALES OFFICE
- RENTAL STORE WITHOUT OUTSIDE STORAGE AND/OR DISPLAY
- SECONDHAND DEALER
- BAIL BOND SERVICES
- FURNITURE UPHOLSTERY/REFINISHING AND RESALE <sup>(2)</sup>
- RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT
- LOCKSMITH
- SHOE AND BOOT REPAIR AND SALES
- TRADE SCHOOL
- MINOR AUTOMOTIVE REPAIR GARAGE
- AUTOMOBILE RENTAL
- NEW OR USED BOAT AND TRAILER DEALERSHIP
- NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
- NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- USED MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS
- RECREATIONAL VEHICLE (RV) SALES AND SERVICE
- SERVICE STATION
- TEMPORARY ASPHALT OR CONCRETE BATCH PLANTS
- MINING AND EXTRACTION OF SAND, GRAVEL, OIL AND/OR OTHER MATERIALS
- MINI-WAREHOUSE
- COMMERCIAL ANTENNA
- COMMERCIAL FREESTANDING ANTENNA
- BUS CHARTER SERVICE AND SERVICE FACILITY
- HELIPAD
- RADIO BROADCASTING
- RAILROAD YARD OR SHOP
- TRANSIT PASSENGER FACILITY
- WIRELESS COMMUNICATION TOWER

NOTES:

- <sup>(1)</sup>: UNLESS ACCESSORY TO A SPA OR HAIR SALON.  
<sup>(2)</sup>: UNLESS ACCESSORY TO A GENERAL RETAIL STORE.

(2) Density and Development Standards. Unless specifically provided for by this Planned Development District Ordinance, *Subdistrict C*-- as depicted in the Concept Plan contained in Exhibit 'B' of this ordinance -- shall be subject to the density and dimensional requirements stipulated for a property in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development on the *Subject Property* shall conform to the standards depicted in Table 2, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	60'
MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK <sup>(1)</sup>	25'
MINIMUM SIDE YARD SETBACK <sup>(2)</sup>	10'
MINIMUM REAR YARD SETBACK <sup>(2)</sup>	10'
MINIMUM BETWEEN BUILDINGS <sup>(2)</sup>	20'

**Exhibit 'D':**  
*Density and Development Standards*

MAXIMUM BUILDING HEIGHT <sup>(3)</sup>	60'
MAXIMUM LOT COVERAGE <sup>(4)</sup>	60%
MINIMUM LANDSCAPING	20%

GENERAL NOTES:

- <sup>1</sup>: FROM FUTURE RIGHT-OF-WAY AS SHOWN ON THE ADOPTED MASTER THOROUGHFARE PLAN OR AS ACTUALLY EXISTS, WHICHEVER IS GREATER.
- <sup>2</sup>: THE SETBACK CAN BE REDUCED TO ZERO (0) FEET WITH A FIRE RATED WALL.
- <sup>3</sup>: BUILDING HEIGHT MAY BE INCREASED UP TO 240-FEET IF APPROVED THROUGH A SPECIFIC USE PERMIT (SUP) BY THE PLANNING AND ZONING COMMISSION AND CITY COUNCIL.
- <sup>4</sup>: NO ADDITIONAL FLOOR AREA RATIO (FAR) REQUIREMENTS WILL REGULATE THE LOT COVERAGE OR FORM OF THE BUILDING.

- (3) Loading Docks & Outside Storage. All *Loading Docks* and *Outside Storage* areas shall be screened from adjacent properties and rights-of-way with three (3) tiered landscaping (*i.e. one (1) row of canopy trees, one (1) row of accent trees, and one (1) row of shrubs*). All *Outside Storage* is limited to cars and light trucks.